



Residential Building Completion Report

Account to:
File No. /Ref:
Phone:
Fax / Email:
Client:
Agreement No / Job No:

Purchaser:
Vendor:
Property address:

Date and time of the Inspection:
Report Prepared Date:

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Pre-Purchase Inspection - Residential Building Report- (Except ACT)

Complies with Australian Standard AS 4349.1- 2007 Inspection of Buildings Part 1: Pre-Purchase inspections – Residential buildings – Appendix “C”

Details of the Inspection

The Purpose of the Inspection: A Completion report is carried out post construction or after practical completion of building works and its main purpose is to identify builder's incomplete or defective work. The report content is very comprehensive including colour photos of all incomplete or defective work, which can be presented to the builder to be rectified. These reports are carried out in conjunction with industry standards. It is not intended to be used as a certificate of compliance for any law, warranty or insurance policy against future problems.

Are there Special Requirements / Conditions requested by the Client/Client's Representative regarding the Inspection and Report: No.

The following list details the Specific Requirements/ Conditions agreed to:

Where there any changes to the Inspection Agreement: No.

- **Date the Changed Agreement was accepted:**
- **Time the Changed Agreement was accepted:**

The following list details the changes to the Inspection Agreement requested:

For the purpose of this report, the street frontage is referred to as the front of the property. The Scope of this report has covered: Only Structures and areas within 30m of the structure but within the immediate fence boundary.

It is normally the role of your conveyancer or solicitor to deal with all law-related matters. The building inspector cannot comment on things like the location of fencing in relation to the boundaries, as this needs to be done by a registered surveyor.

Details of the Inspection

Weather Conditions at the time of Inspection: Dry

Recent Weather Conditions: Dry

Building Furnished: Yes

Building Tenancy: Vacant.

The Scope of the Inspection was to cover: The Building and the property within 30m of the building subject to inspection.

The Areas Inspected were:

- **Interior of the building**
- **Exterior of the building**
- **Sub-floor below the rear lounge room**
- **Lower roof exterior**
- **Roof voids**
- **Garage**
- **Site**

(Only structures and fences within 30m of the main building and within the boundaries of the site were inspected.)

The Area(s) NOT accessible for any inspection and the reason (s) why were:

- **Below 80% of the home due to raft slab construction provides no sub-floor to inspect**
- **Unsafe access to the upper roof exterior due to excessive height restrictions**

Further Inspection of these areas is strongly recommended once access has been obtained.

(No inspection was made of concealed frame timbers or any areas concealed by wall linings/sidings, soil, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow blocks/posts or any other obstructions to visual inspection.)

The Area(s) in which visual inspection was obstructed and the reason (s) why were:

- Interior due to furniture and floor coverings
- Roof void due to air conditioning, sarking, insulation and low crawl space

* No comment is made on these concealed areas

Further Inspection of these areas is strongly recommended once access has been obtained.

Therefore the Area(s) and/or Section(s) to which Access should be gained or fully gained are:

- Interior of the building
- Roof exterior

Further Inspection of these areas is Essential once access has been obtained and Prior to a Decision to Purchase.

Limitations to the Inspection apart from "Access Issues" noted above and how these limitations, has effected the Inspection are:

- Not applicable
-

Details of Apparent concealment of possible defects:

- Not applicable
-

Information provided to the Inspector that has a bearing on the Inspection and/or Report and who and when that information was provided:

- Not applicable
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BRIEF DESCRIPTION OF THE STRUCTURE INSPECTED.

DWELLING

The property inspected is a two storey split level, free standing home of full brick, brick veneer with timber frame and timber frame clad with fibre cement sheeting construction. This structure is on a concrete raft slab footings, with a pitched roof covered in concrete tiles.



GARAGE

An attached double garage of full brick construction is provided to the front of the property. The garage is on a concrete raft slab footing.

CONCLUSION AND SUMMARY


The purpose of this inspection is to provide advice to regarding the condition of the property at the time of the inspection and to identify builder's incomplete or defective work. The report content is very comprehensive including colour photos of all incomplete or defective work, which can be presented to the builder to be rectified. These reports are carried out in conjunction with industry standards. It is not intended to be used as a certificate of compliance for any law, warranty or insurance policy against future problems.

Please Note: This is a general appraisal only and cannot be relied on its own – read the report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

At the time of this inspection the Significant Items are:

Defect: A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Defect description, type, location and the significance of defect.
<div>Remove the scuff marks from the ground floor hallway wall.</div> <div></div>

Defect description, type, location and the significance of defect.

Repair the impact damaged architrave to the ground floor door jamb.



Remove the scuff marks from the ground floor rumpus room door and jamb architrave.



Defect description, type, location and the significance of defect.

Install the missing lock to the kitchen cupboard door.

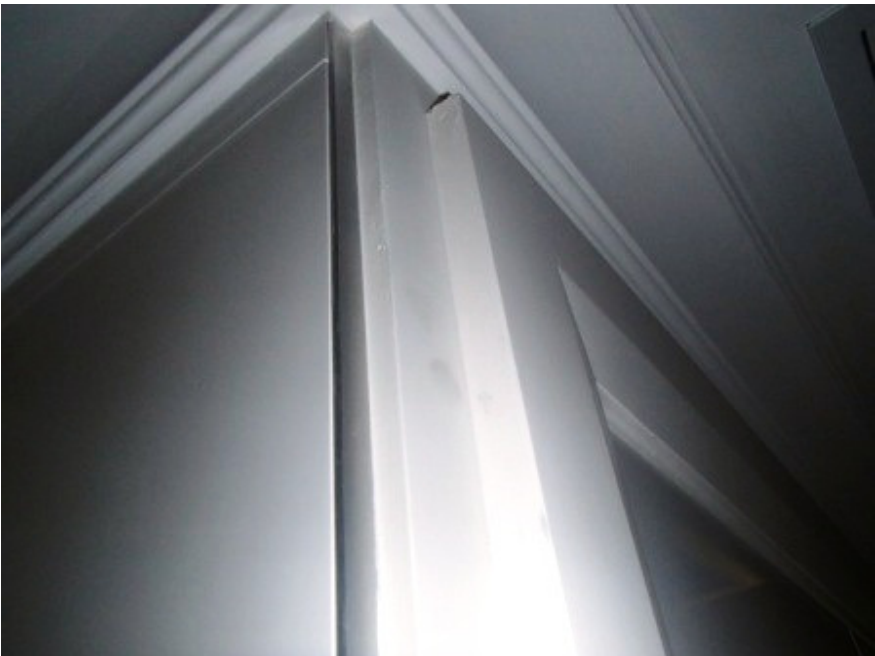


Resecure the loose window winder to bedroom 4.



Defect description, type, location and the significance of defect.

Remove the scuff marks from 1st floor hallway wall area.



Remove the scuff marks from bedroom 1 door jamb architrave.



Defect description, type, location and the significance of defect.

Complete the patching and painting to the staircase stringer.



Repair and repaint the staircase wall lining.



Defect description, type, location and the significance of defect.

Remove the marks from the exterior face brickwork on the left side of the home.



The lateral dampness and efflorescence (powdery white crystalline deposits of soluble salts on surface of masonry materials) was noted on the retaining walls to the rear of the property, which has occurred due to insufficient membrane / waterproofing behind the brick wall.



Defect description, type, location and the significance of defect.

Resecure the loose timber panelling to the rear fence.

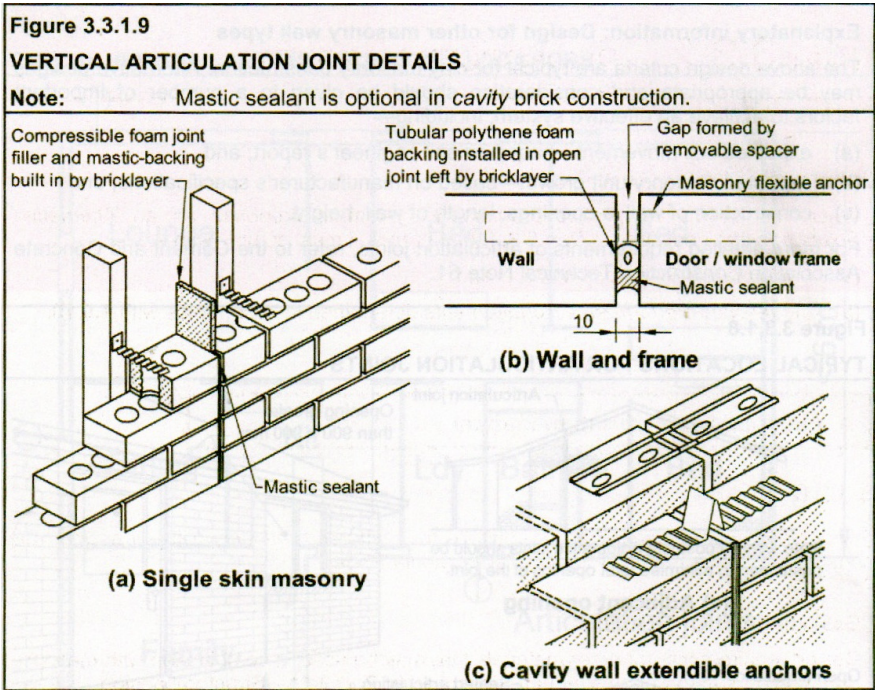


Remove the concrete staining to the brickwork to the rear of the home.



Defect description, type, location and the significance of defect.

Seal the vertical articulation joints to brickwork on the right side of the building as per Building Code of Australia part 3.3.1.9, which states that all joints must be sealed with a flexible, compressible material to prevent water penetration as detailed below.



Defect description, type, location and the significance of defect.

As above



Install the hot water heater to the home.



Defect description, type, location and the significance of defect.

Replace the temporary cover to the weep holes on the right side of the home with the finished insect covers.



Install the missing weep holes above the front door.



Safety Hazard: Any observed item that may constitute a present or imminent serious safety hazard.

Defect description, type, location and the significance of defect.
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Install the missing handrails to the rear retaining wall. The Building Code of Australia states that there must be a continuous balustrade or other barrier if there is more than 1 metre above the surface beneath.
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Cracking of Building elements

Is there cracking to the Building Elements: **No**

Appearance Defect: Where in the inspector's opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Defect description, type, location and the significance of defect.
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Not applicable

Serviceability Defect: Where in the inspector's opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Defect description, type, location and the significance of defect.
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Not applicable

Structural Defect: Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Defect description, type, location and the significance of defect.
Not applicable

Other Inspections and Reports Required:

It is Strongly Recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property, so that the purchaser can be well equipped to make an informed decision. These Inspections and Reports fall outside the guidelines for a Standard Property Report as specified in AS4349.1-2007 and are excluded from this Report.

Timber Pest Inspection	Electrical Inspection	Plumbing Inspection
Asbestos Inspection	Mechanical Services	Drainage Inspection
Mould Inspection	Appliances Inspection	Airconditioning Inspection
Alarm/Intercom/Data Systems	Structural (Engineer)	Gasfitting Inspection
Durability of Exposed Surfaces	Hydraulics Inspection	Swimming Pool Inspection
Council Plan Inspection	Hazards Inspection	Garage Door Mechanical

Other:

TERMINOLOGY

The Definitions of the Terms in the table below apply to the TYPES OF DEFECTS associated with individual items/parts or Inspection areas (fields) of an item:

Definitions

Damage	The fabric of the element has ruptured or is otherwise broken.
Distortion Warping Twisting	An element or elements has been distorted or moved from the intended locations.
Water penetration Damp Related	Moisture is present in unintended or unexpected locations.
Material Deterioration (rusting, rotting, corrosion, decay)	An element or component is subject to deterioration of material or materials.
Operational	An element or component does not operate as intended.
Installation (including omissions)	The element or component is subject to improper or ineffective installation, inappropriate use, or missing components.

Accessible area: An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

Appearance Defect: Where in the inspector's opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Building element: Portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function.

Defect: A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Safety Hazard: Any observed item that may constitute a present or imminent serious safety hazard.

Serviceability Defect: Where in the inspector's opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Site: Allotment of land on which a building stands or is to be erected.

Structural Defect: Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Note: Also Refer to "Important Advice" section for explanation/advice concerning some terms and or defects that may be contained in this Report.

Important Advice: -

Note: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

Surface Water Drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

Important Information Regarding the Scope and Limitations of the Inspection and this Report

Important Information Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

- 1) This report is **NOT** an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.
- 2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property **fully accessible** and visible to the Inspector on the date of Inspection. The inspection **DID NOT** include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector **CANNOT** see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector **DID NOT** dig, gouge, force or perform any other invasive procedures. Visible timbers **CANNOT** be destructively probed or hit without the written permission of the property owner.
- 3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (*eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly this Report is **not a guarantee** that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB Such matters may upon request be covered under the terms of a Special-purpose Property Report.)**

- 4) **CONSUMER COMPLAINTS PROCEDURE.** In the event of any controversy or claim arising out of, or relating to this Report, either party must give written Notice of the dispute to the other party. If the dispute is not resolved within ten (10) days from the service of the Notice then the dispute shall be referred to a mediator nominated by the Inspector. Should the dispute not be resolved by mediation then either party may refer the dispute to the Institute of Arbitrators and Mediators of Australia for resolution by arbitration.

- 5) **CONDITIONS** :- This standard property report is conditional upon or conditional in relation to –
1. the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
 2. information provided by the person, the employees or agents of the person requesting the report;
 3. the specific areas of 'expertise' of the consultant specified in the report;
 4. apparent concealment of possible defects; or
 5. any other factor limiting the preparation of the report.

IMPORTANT DISCLAIMER

DISCLAIMER OF LIABILITY: -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES: - This Report is made solely for the use and benefit of the client named on the front of this report. No liability or responsibility whatsoever, in contract or tort, is accepted to any third party who may rely on the Report wholly or in part. Any third party acting or relying on this Report, in whole or in part does so at their own risk.

CONTACT THE INSPECTOR

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

The Inspection and Report was carried out by:

Inspectors contact phone number:

Address: PO Box 294 Sylvania Southgate NSW 2224

Insurance Accreditation Number: Rapid Solutions no 6088

Dated this 9th Day of October, 2013

SIGNED FOR AND ON BEHALF OF:

Signature: