



Residential Building Report

Account to:
File No. /Ref:
Phone:
Fax / Email:
Client:
Agreement No / Job No:

Purchaser:
Vendor:
Property address:

Date and time of the Inspection:
Report Prepared Date:

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Pre-Purchase Inspection - Residential Building Report- (Except ACT)

Complies with Australian Standard AS 4349.1- 2007 Inspection of Buildings Part 1: Pre-Purchase inspections – Residential buildings – Appendix “C”

Details of the Inspection Agreement

The Purpose of the Inspection: The purpose of the inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the property at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix C AS4349.1-2007.

The Scope of the Inspection: The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

Acceptance Criteria: The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Are there Special Requirements / Conditions requested by the Client/Client's Representative regarding the Inspection and Report: No.

The following list details the Specific Requirements/ Conditions agreed to:

Where there any changes to the Inspection Agreement: No.

- **Date the Changed Agreement was accepted:**
- **Time the Changed Agreement was accepted:**

The following list details the changes to the Inspection Agreement requested:

For the purpose of this report, the street frontage is referred to as the front of the property. The Scope of this report has covered: Only Structures and areas within 30m of the structure but within the immediate fence boundary.

The majority of properties throughout N.S.W will have significant matters that require attention; however, the property may still be good value if the costs to rectify defects are reflected in the purchase price. The final decision concerning the valuation of the property is solely the purchase decision as we are licensed building consultants, not valuers.

This type of building inspection is carried out specifically for the information of the homebuyer only. Its main purpose is to give an experts view of the condition of the property you're interested in buying. It is not intended to be used as a certificate of compliance for any law, warranty or insurance policy against future problems.

It is normally the role of your conveyancer or solicitor to deal with all law-related matters. The building inspector cannot comment on things like the location of fencing in relation to the boundaries, as this needs to be done by a registered surveyor.

Details of the Inspection

Weather Conditions at the time of Inspection: Dry

Recent Weather Conditions: Intermittent rain

Building Furnished: Yes

Building Tenancy: Tenanted

The Scope of the Inspection was to cover: The Building and the property within 30m of the building subject to inspection.

The Areas Inspected were:

- Interior of the building
- Exterior of the building
- Carport
- Roof void
- Site

(Only structures and fences within 30m of the main building and within the boundaries of the site were inspected.)

The Area(s) NOT accessible for any inspection and the reason (s) why were:

- Below the home due to raft slab construction provides no sub-floor to inspect
- Edge of the concrete slab due to concrete paving
- Unsafe access to the roof exterior due to excessive height restrictions

Further Inspection of these areas is strongly recommended once access has been obtained.

(No inspection was made of concealed frame timbers or any areas concealed by wall linings/sidings, soil, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow blocks/posts or any other obstructions to visual inspection.)

The Area(s) in which visual inspection was obstructed and the reason (s) why were:

- **Interior due to stored goods, furniture and floor coverings**



- Sections of the exterior due to foliage, hot water heater and stored goods
- Roof void due to sisilation

* No comment is made on these concealed areas

Further Inspection of these areas is strongly recommended once access has been obtained.

Therefore the Area(s) and/or Section(s) to which Access should be gained or fully gained are:

- Interior of the building
- Exterior of the building
- Roof void
- Roof exterior

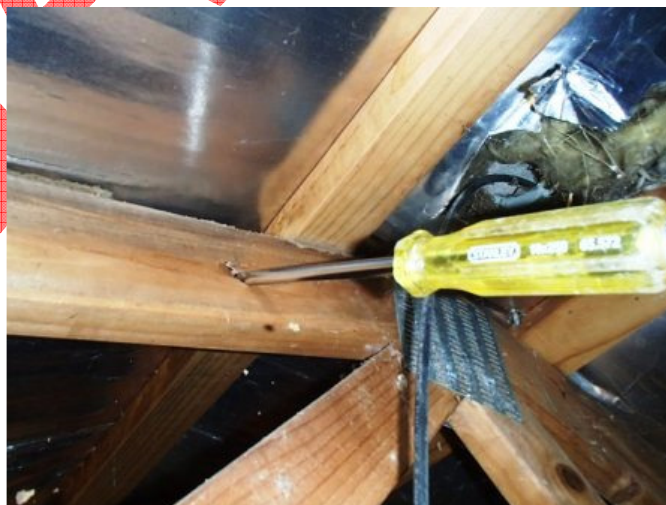
Further Inspection of these areas is Essential once access has been obtained and Prior to a Decision to Purchase.

Limitations to the Inspection apart from "Access Issues" noted above and how these limitations, has effected the Inspection are:

- Not applicable

Details of Apparent concealment of possible defects:

- Possible termite damage to the wall and floor framing timber due to termite mudding to the ground and 1st floor walls, floor beams, roof trusses and wall top plates in the roof void





Information provided to the Inspector that has a bearing on the Inspection and/or Report and who and when that information was provided:

- **Not applicable**
-

BRIEF DESCRIPTION OF THE STRUCTURE INSPECTED.

DWELLING

The property inspected is a two storey, free standing home of concrete block work, timber frame clad with timber weatherboards construction. This structure is on a concrete raft slab footings with a pitched roof covered in corrugated colour bond steel sheeting.



CARPORT

A free standing single carport is provided to the rear of the property. This structure is supported by timber post with a skillion roof, which is covered in corrugated colour bond steel sheeting.

CONCLUSION AND SUMMARY

The purpose of this inspection is to provide advice to regarding the condition of the property at the time of the inspection. This inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the condition of the property at the time of the inspection.

The incidence of Major Defects in this Residential Building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered. **High**

The incidence of Minor Defects in this Residential Building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered **High**

We estimate that the age of the property is **approximately 15-20 years old** and therefore the overall condition of this Residential Dwelling in the context of its age, type and general expectations of similar properties is: **Below Average**

Please Note: This is a general appraisal only and cannot be relied on its own – read the report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

At the time of this inspection the Significant Items are:

Major Defect: A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Defect description, type, location and the significance of defect.	Estimated cost of repairs
A treatment with a rust inhibitor will be required to the support posts and plates to extend this material's service.	\$600.00



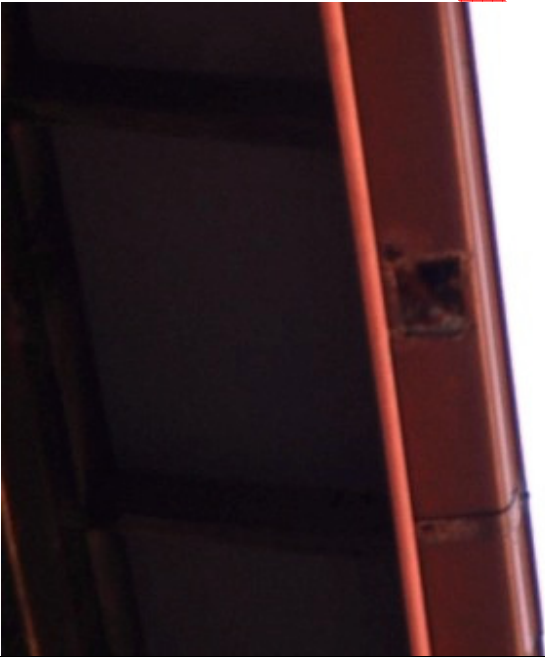
The external timbers to the weatherboards, windows, fascia boards, rafter ends, balcony timbers and carport timbers of the property have aged and weathered in areas. These timbers should be painted immediately to prevent decay.

\$5,000.00



The gutters to the home have rusted and will require to be replaced. A plumber and drainer should be sought.

Seek a plumber



A plumber should be sought to connect the hot water heater overflow pipe to the stormwater drainage system.

Seek a plumber



Replace the decayed sections of the beams. These timbers, due to their location, are prone to decay and must be kept well painted to prevent such deterioration once replaced.

\$2,500.00



Repair the water damaged 1st floor wall lining.

\$400.00



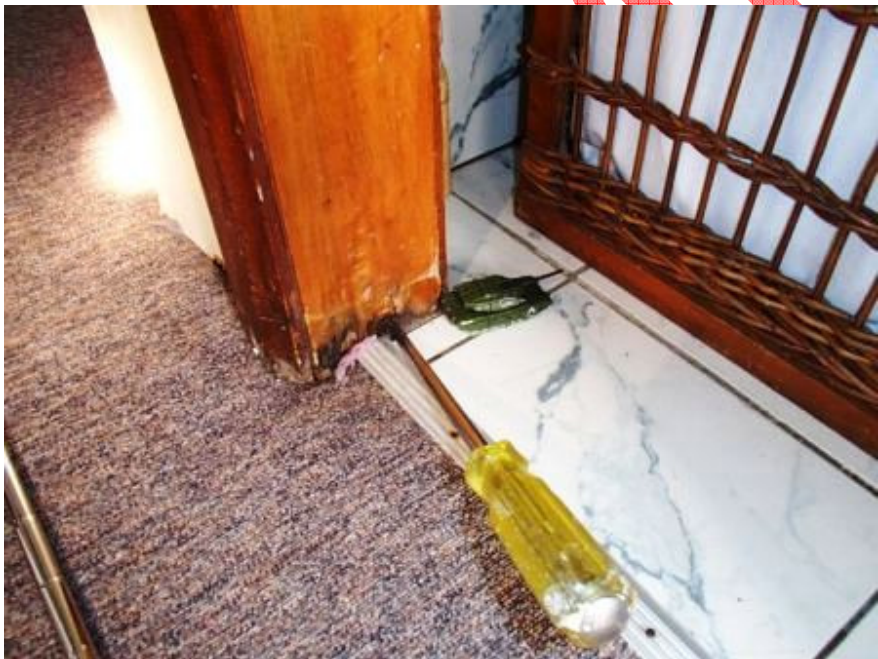
Replace the incorrectly installed base plate to the carport post.

\$250.00




Repair the water damaged bathroom 2 door jamb.

\$200.00



Re-enamel the bathroom tub in bathroom 2.	\$600.00
Replace the water damaged cupboard below the kitchen sink.	\$1,800.00
	
Minor cracks were noted to the bathroom 1 and ensuite internal walls. These cracks have been possibly caused by termite damage to the wall framing timbers.	
	

<p>The wall lining to the bathroom 1 is bowed in a number of areas which is possible due to termite damage to the wall framing timbers, movement and loss of adhesion to glue between the wall lining and the wall studs. Replacement of this wall lining is essential.</p>	
<p>The front door to top floor requires easing and adjustment in order for it to operate correctly.</p>	\$100.00
<p>A number of tiles to the ground floor kitchen, bathroom 2 and ensuite floor tiles have become drummy and cracked.</p> <p>These tiles have become cracked and drummy possibly due to termite damage to the floor framing timbers, movement and loss of adhesion with their bedding materials. Replacement of these tiles will be required by a ceramic tiler.</p> 	

		
<p>An invasive inspection should be carried out as concealed termite damage to the wall and floor framing timbers is highly likely due to termite mudding and damage to the ground and 1st floor.. Without the removal of wall linings, it is not possible to determine the extent or existence of termite damage. A builder should be contracted by the purchaser or vendor to undertake the removal of the wall lining, subject to the vendor's approval in writing.</p> 	Discuss with the inspector	




A plumber should be consulted to repair the water hammer to the 1st floor sink taps. Water hammer is shock waves in plumbing generally due to high velocity water being shut-off too quickly due to under sizing of pipes and faucets or valves. Sometimes installing water hammer arrestors can help alleviate or lessen water hammer. Best is to increase water pipe sizes thereby slowing velocity.

Replace the water damaged ensuite vanity unit cabinet. The basin can be re-used. This damage is due to excessive water usage around the cabinet.

Seek a plumber

\$600.00

Safety Hazard: Any observed item that may constitute a present or imminent serious safety hazard.

Defect description, type, location and the significance of defect.	Estimated cost of repairs
<p>The handrails to the balcony are too low in height and do not comply with the Building Code of Australia, which states that the minimum height of the handrail must be no less than a minimum height of 1 metre. The handrail must be replaced to prevent an accident.</p> 	<p>\$2,000.00</p>
<p>Fungal decay was identified in the right side balcony although its extent and significance could not be determined. A timber specialist or engineer needs to be instructed to advise on the full extent of the problem, including any remedial work and potential safety issues.</p>	<p>Seek a structural engineer</p>
<p>Replace the water damaged flooring below the 1st floor bathroom / laundry area of the home, this damage is due to a past leak.</p>	<p>\$6,000.00</p>



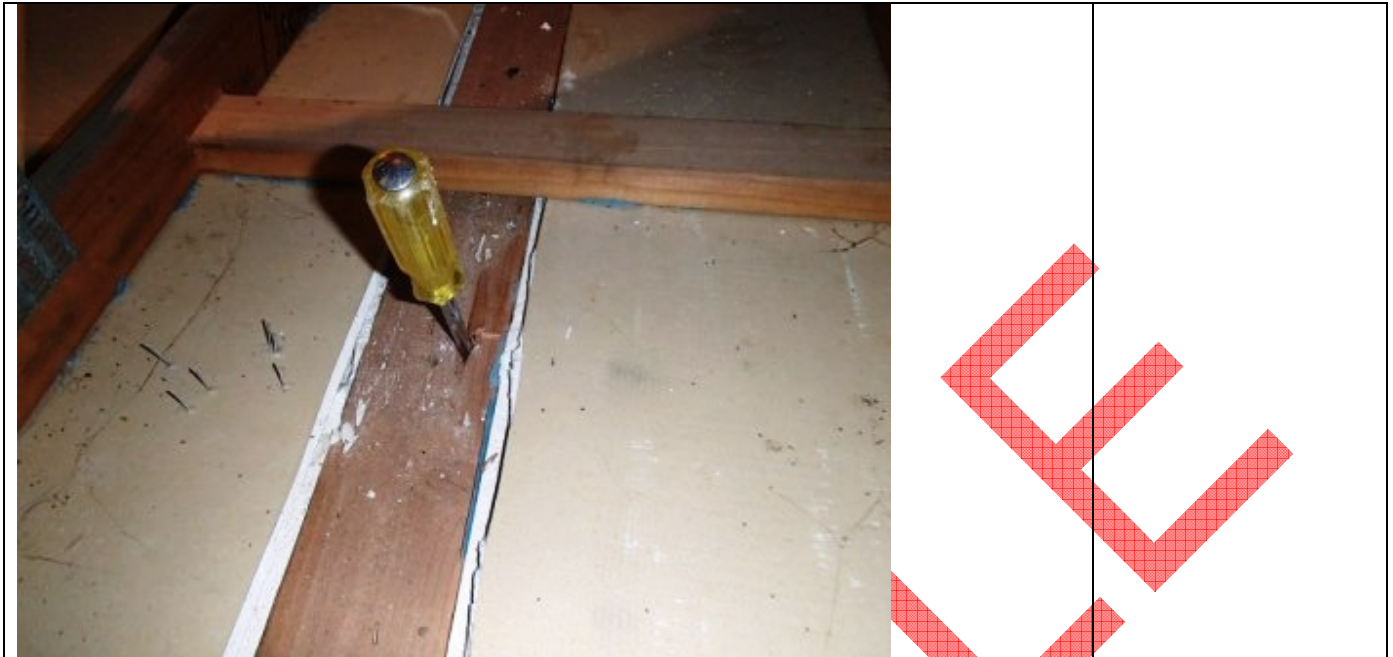
Replace several termite damage roof trusses throughout the roof void area, the roof sheets and ceiling lining to these areas will have to be removed so that the trusses can be replaced not repaired.

Approx \$15,000.00
to \$20,000.00





		
<p>Replace the termite damaged wall framing top plates to several areas throughout the roof void area of the home.</p>		<p>Price once invasive inspection complete</p>
		



Cracking of Building elements

Is there cracking to the Building Elements: **Yes**

Appearance Defect: Where in the inspector's opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Defect description, type, location and the significance of defect.
Minor appearance cracks have developed in the interior concrete walls to the bathroom and kitchen.
These cracks should be closely monitored by a structural engineer as it is not possible to determine if further movement is occurred or the area has stabilised without monitoring over a period of approximately 12 months.

Serviceability Defect: Where in the inspector's opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Defect description, type, location and the significance of defect.
Not applicable

Structural Defect: Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Defect description, type, location and the significance of defect.
Not applicable

INTERIOR OF THE BUILDING

Ceilings

The internal ceilings throughout the building are:

- Gypsum plasterboard lining
- Timber panelling

Walls

The internal walls throughout the building are:

- Gypsum plasterboard lining
- Painted concrete blockwork

Flooring

The floors throughout the building are of concrete and timber plywood.

Windows

The windows throughout the building are of timber.

Timber windows are prone to wet rot and will age and weather over a period. These windows should be kept primed & painted to prevent deterioration & to extend the life of the timber. It is important to move the windows regularly after painting to prevent the window from sticking to the framework.

Doors and Frames

The doors and frames throughout the building are of timber.

Kitchen 1 to the ground floor

The kitchen bench tops throughout the kitchen are covered with timber.

The kitchen cupboards throughout the kitchen are covered with timber.

The floor throughout the kitchen is covered with tiles.

Kitchen 2 to the 1st floor

The kitchen bench tops throughout the kitchen are covered with timber.

The kitchen cupboards throughout the kitchen are covered with timber.

The floor throughout the kitchen is covered with vinyl.

Bathroom 1 to the ground floor

The shower recess was flood tested with approx 5mm of water and was found to be without visible leaks at the time of the inspection. An inspection of the accessible surrounding walls and floors revealed no evidence of past or present leaks.

Note: Shower leaks in homes are quite common and can occur without warning. Showers should be monitored at all times, and if found to be leaking in the future that repairs should be carried out ASAP, as the leaking can cause major damage. It may be difficult to detect leaks if the shower has not been used recently or new, leaks or dampness may not be obvious.

There is a toilet to the bathroom.

Normal plumbing points and taps are provided throughout the bathroom.

The floor and walls throughout the bathroom are covered with tiles.

There is no bath within the bathroom.

There is a vanity / washbasin unit to bathroom.

A floor waste is provided to this area, and the floor appears to drain adequately to this floor waste without ponding water.

There is no extraction exhaust fan in this area, however, there is an external window which must be opened when bathing or showering to remove steam & moisture.

There is a mirror to the bathroom.

Bathroom 2 to the 1st floor

The shower, which is situated over the bath was found to be without leaks at the time of the inspection. An inspection of the accessible surrounding walls and floors revealed evidence of past leak, see defects.

Note: Shower leaks in homes are quite common and can occur without warning. Showers should be monitored at all times, and if found to be leaking in the future that repairs should be carried out ASAP, as the leaking can cause major damage. It may be difficult to detect leaks if the shower has not been used recently or new, leaks or dampness may not be obvious.

There is a toilet to the bathroom.

Normal plumbing points and taps are provided throughout the bathroom.

The floor and walls throughout the bathroom are covered with tiles.

There is a bath within the bathroom.

There is a vanity / washbasin unit to bathroom.

A floor waste is provided to this area, and the floor appears to drain adequately to this floor waste without ponding water.

There is no extraction exhaust fan in this area, however, there is an external window which must be opened when bathing or showering to remove steam & moisture.

There is a mirror to the bathroom.

Ensuite

The shower recess was flood tested with approx 5mm of water, and was found to be without visible leaks at the time of the inspection. An inspection of the accessible surrounding walls and floors revealed no evidence of past or present leaks.

Note: Shower leaks in homes are quite common and can occur without warning. Showers should be monitored at all times, and if found to be leaking in the future that repairs should be carried out ASAP, as the leaking can cause major damage. It may be difficult to detect leaks if the shower has not been used recently or new, leaks or dampness may not be obvious.

There is a toilet to the ensuite.

Normal plumbing points and taps are provided throughout the ensuite.

The floor and walls throughout the ensuite are covered with tiles.

There is a vanity / washbasin unit to ensuite.

The tile flooring throughout the ensuite appears to fall to the floor waste correctly without ponding water.

A floor waste is provided to this area, and the floor appears to drain adequately to this floor waste without ponding water.

There is no extraction exhaust fan in this area, however, there is an external window which must be opened when bathing or showering to remove steam & moisture.

There is a mirror to the bathroom.

Laundry to the ground and 1st floors

Normal plumbing points and taps are provided throughout the laundries.

There is a laundry tub provided to the laundries.

The floor and walls throughout the laundries are covered with tiles.

A floor waste is provided to the 1st floor laundry and the floor appears to drain adequately to this floor waste without ponding water.

There is no extraction exhaust fan to the 1st floor laundry; however there is an external window which must be opened to remove steam & moisture.

Damp Course

The damp-proof course to the property could not be found.

Hot Water System 1

The mains pressure, electrical hot water system is located externally. The capacity of this unit is 50 litres and the manufacture date of this unit is 30/03/2010.

The hot water unit was working, however it requires attention see defects.

The life of the hot water unit cannot be estimated as failure may occur at any time without warning.

Hot Water System 2

The mains pressure, electrical hot water system is located externally. The capacity of this unit is 50 litres and the manufacture date of this unit is 12/11/2010.

The hot water unit was working, however it requires attention see defects.

The life of the hot water unit cannot be estimated as failure may occur at any time without warning.

Services

Although general comments are made on electrical, plumbing and mechanical services, it's recommended that a licensed electrician, plumber and drainer and mechanical consultant be consulted for further advice, as electrical, plumbing and mechanical inspections are not covered in this building report, in accordance with Australian Standards AS 4349.1-2007.

The plumbing pipes are of copper, where visible.

The water pressure to the property was normal.

2 smoke detectors are located in the ground floor and 1st floor lounges rooms.

Smoke alarms must meet the Australian Standard AS 3786-1993 required by the Building Regulations. In all new residential buildings, constructed on or after 1 August 1997, the smoke alarms must be connected directly to the consumer power mains as well as having a battery back-up. Residential buildings constructed before 1 August 1997, can be fitted with a battery-powered smoke alarm.

EXTERIOR OF THE BUILDING

Walls

The external walls to the building are of:

- Timber weatherboards
- Concrete block work

Lintels

The lintels above the window and door openings throughout the exterior of the building are of galvanised steel.

Wall Frames

The wall frames where visible throughout the building are of timber.

Stairs

The exterior stairs throughout the exterior of the building are of metal.

Verandah/Balcony 1 and 2

Two verandah/balcony of timber construction are provided to the right side and rear of the property, "A timber specialist or engineer needs to be instructed to advise on any decay between the decking and frame and full extent of any problem, including any remedial work and potential safety issues."

Roof Covering

The pitched roof to the building is covered in corrugated colour bond steel sheeting.

A physical inspection of the roofing was not possible due to the height of the building and the inability to access the area with a 3.6-metre ladder, which is the height restriction for a standard building inspection AS 4349.1-2007. A special purpose inspection will be required to inspect this area.

Skylights, Vents, Chimney and Flues

There are vents flashings to the roof of the building.

A physical inspection of the vents was not possible due to the height of the building and the inability to access the area with a 3.6 metre ladder, which is the height restriction for a standard building inspection AS 4349.1-2007. A special purpose inspection will be required to inspect this area.

Gutters and downpipes

There are metal gutters and downpipes to the roof exterior of the building.

A physical inspection of the gutters was not possible due to the height of the building and the inability to access the area with a 3.6-metre ladder, which is the height restriction for a standard building inspection AS 4349.1-1995. A special purpose inspection will be required to inspect this area.

The downpipes generally appear to be connected to a stormwater disposal system, which drains the water away from the property.

Eave Lining

There are fibre cement sheeting to the roof exterior eave lining of the building.

Fascia and Barge Boards

There are timber fascia and barge boards to the roof exterior of building, these timbers due to there location are prone to decay and must be kept well painted to prevent such deterioration.

ROOF VOID AREA

Roof Framing

The roof framing is timber truss to the building.

Insulation

There was no insulation placed over the ceiling lining & timbers.

Sarking

There is sisilation installed below the roof covering and an inspection of the roof battens was not possible due to the material.

SUB-FLOOR AREA

Footings

The footings throughout the building are of concrete raft slab footings.

To prevent subsidence to the home footings, attempts should be made to maintain the moisture content of the soil around the property at a constant level. Sudden or dramatic changes to the moisture content in reactive clay soils may cause the footings to fail resulting in cracking to the interior & exterior walls of the property.

In the worse case, it could cause structural damage, which could result in re-building or underpinning of the footing.

THE SITE

Retaining walls

There are stone and concrete retaining walls to the front and rear of the property. Any retaining walls on this property that are below 700mm have not been inspected as per standard building inspection AS 4349.1-2007. A special purpose inspection will be required to inspect this area.

Driveways and Paving

There are concrete paths and driveway to the property.

Surface Water Drainage

This inspection was carried out during dry weather conditions. The surface drainage appears to be fair, however it should be monitored during heavy rainfall periods, as the drainage cannot be fully assessed in dry conditions.

Other Inspections and Reports Required:

It is Strongly Recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property, so that the purchaser can be well equipped to make an informed decision. These Inspections and Reports fall outside the guidelines for a Standard Property Report as specified in AS4349.1-2007 and are excluded from this Report.

Timber Pest Inspection	Electrical Inspection	Plumbing Inspection
Asbestos Inspection	Mechanical Services	Drainage Inspection
Mould Inspection	Appliances Inspection	Airconditioning Inspection
Alarm/Intercom/Data Systems	Structural (Engineer)	Geotechnical Inspection
Durability of Exposed Surfaces	Hydraulics Inspection	Swimming Pool Inspection
Council Plan Inspection	Hazards Inspection	Fire/Chimney Inspection
Estimating Report	Garage Door Mechanical	Gasfitting Inspection

Other:

TERMINOLOGY

The Definitions of the Terms in the table below apply to the TYPES OF DEFECTS associated with individual items/parts or Inspection areas (fields) of an item:

Definitions

Damage	The fabric of the element has ruptured or is otherwise broken.
Distortion Warping Twisting	An element or elements has been distorted or moved from the intended locations.
Water penetration Damp Related	Moisture is present in unintended or unexpected locations.
Material Deterioration	An element or component is subject to deterioration of material or

(rusting, rotting, corrosion, decay)	materials.
Operational	An element or component does not operate as intended.
Installation (including omissions)	The element or component is subject to improper or ineffective installation, inappropriate use, or missing components.

The Definitions (High), (Typical) and (Low) relate to the inspectors opinion of the Overall Condition of the Building:

Definitions

HIGH	The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.
TYPICAL	The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.
LOW	The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

The Definitions (Above Average), (Average) and (Below Average) relate to the inspectors opinion of the Overall Condition of the Building:

Definitions

ABOVE AVERAGE	The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a high standard of workmanship when compared with building of similar age and construction.
AVERAGE	The overall condition is consistent with dwellings of approximately the same age and construction. There may be areas/members requiring minor repair or maintenance. There were no major matters that require attention or rectification.
BELOW AVERAGE	The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Accessible area: An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

Appearance Defect: Where in the inspector's opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Building element: Portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function.

Major Defect: A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Minor Defect: A defect other than a major defect.

Safety Hazard: Any observed item that may constitute a present or imminent serious safety hazard.

Serviceability Defect: Where in the inspector's opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Site: Allotment of land on which a building stands or is to be erected.

Structural Defect: Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Note: Also Refer to "Important Advice" section for explanation/advice concerning some terms and or defects that may be contained in this Report.

Important Advice: -

Note: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

The septic tanks: Should be inspected by a licensed plumber.

Swimming Pools: Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

Surface Water Drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

Important Information Regarding the Scope and Limitations of the Inspection and this Report

Important Information Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

- 1) This report is NOT an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.
- 2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.
- 3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (*eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB Such matters may upon request be covered under the terms of a Special-purpose Property Report.)**

- 4) **CONSUMER COMPLAINTS PROCEDURE:** In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, You must notify Us as soon as possible of the dispute or claim

by email, fax or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If You are not satisfied with our response You must within twenty one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The Institute of Arbitrators and Mediators of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of Arbitrator, will proceed in the following manner:

- (a) The parties must submit all written submissions and evidence to the Arbitrator within twenty one (21) days of the appointment of the Arbitrator; and
- (b) The arbitration will be held within twenty one (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty one (21) of the final day of the arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs.

The decision of the Arbitrator is final and binding on both parties. Should the Arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty one (21) days of the order.

In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

- 5) **ASBESTOS DISCLAIMER: "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.** If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even building built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples' health. You should seek advice from a qualified asbestos removal expert."
- 6) **MOULD (MILDEW AND NON-WOOD DECAY FUNGI) DISCLAIMER:** Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, Mould happened to be noticed it may be noted in the **Additional Comments** section of the report. If Mould is noted as present within the

property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council,

State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

- 7) **MAGNESITE FLOORING DISCLAIMER:** No inspection for Magnesite Flooring was carried out at the property and no report on the presence or absence of Magnesite Flooring is provided. You should ask the owner whether Magnesite Flooring is present and/or seek advice from a Structural Engineer.
- 8) **ESTIMATING DISCLAIMER:** Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.
- 9) **CONDITIONS :-** This standard property report is conditional upon or conditional in relation to –
1. the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
 2. information provided by the person, the employees or agents of the person requesting the report;
 3. the specific areas of 'expertise' of the consultant specified in the report;
 4. apparent concealment of possible defects; or
 5. any other factor limiting the preparation of the report.

IMPORTANT DISCLAIMER

DISCLAIMER OF LIABILITY: -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES: - Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement then they may rely on the report subject to the terms and conditions of this agreement and the Report itself.

Note: In the ACT under the Civil Law (Sale of Residential Property) Act 2003 and Regulations the report resulting from this inspection may be passed to the purchaser as part of the sale process providing it is carried out not more than three months prior to listing and is not more than six months old.

CONTACT THE INSPECTOR

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

The Inspection and Report was carried out by:

Inspectors contact phone number:

Address: PO Box 294 Sylvania Southgate NSW 2224

Insurance Accreditation Number: Rapid Solutions no 6088

Dated this 17th Day of March, 2014

SIGNED FOR AND ON BEHALF OF:

Signature:



Residential Pest Report

Account to:
File No. /Ref:
Phone:
Fax / Email:
Client:
Agreement No / Job No:

Purchaser:
Vendor:
Property address:

Date and time of the Inspection:
Report Prepared Date:

- P: 1300 632373 • F: 9522 7294 • E: info@brcproperty.com.au
- www.brcproperty.com.au • PO Box 294 Sylvania Southgate NSW 2224
- Professional Indemnity Insurance Accreditation Number: Rapid Solutions No: 6088

• Building Reports • Pest Reports • Strata Reports • Survey Reports
Servicing Greater Sydney

Visual Timber Pest Inspection & Report in accordance with AS 4349.3 – 2010
(For use in all States & Northern Territory but not the Australian Capital Territory)

Details of the Inspection Agreement

The Purpose of the Inspection: The purpose of the inspection is to provide advice about the condition of timber pests to the property at the time of the inspection, to a prospective purchaser or other interested party.

Are there Special Requirements / Conditions requested by the Client/Client's Representative regarding the Inspection and Report: No.

The following list details the Specific Requirements/ Conditions agreed to:

Where there any changes to the Inspection Agreement: No.

- **Date the Changed Agreement was accepted:**
- **Time the Changed Agreement was accepted:**

The following list details the changes to the Inspection Agreement requested:

For the purpose of this report, the street frontage is referred to as the front of the property. The Scope of this report has covered: Only Structures and areas within 30m of the structure but within the immediate fence boundary.

This report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential.

Contact the Inspector: Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you prior to acting on this report.

Details of the Inspection

Weather Conditions at the time of Inspection: Dry

Recent Weather Conditions: Intermittent rain

Building Furnished: Yes

Building Tenancy: Owner occupied

SUMMARY ONLY:**IMPORTANT DISCLAIMER**

- ◆ This Summary is supplied to allow a quick and superficial overview of the inspection results.
- ◆ This Summary is NOT the Report and cannot be relied upon on its own.
- ◆ This Summary must be read in conjunction with the full report and not in isolation from the report.
- ◆ If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.
- ◆ The Report is subject to Terms and Limitations. Your attention is particularly drawn to the Clauses, Disclaimer of Liability to Third Parties, Limited Liability to a Purchaser within the Australian Capital Territory and to the Notice to the Purchaser at the back of this report.

ACCESS

Are there any Area(s) and/or Section(s) to which Access should be gained?

Yes, read the report in full

TIMBER PEST ACTIVITY

Were active subterranean termites (live specimens) found?

No, read the report in full.

Was visible evidence of subterranean termite workings or damage found?

Yes, read the report in full

Was visible evidence of borers of seasoned timbers found?

No, read the report in full.

Was evidence of damage caused by wood decay (rot) fungi found?

Yes, read the report in full

For complete and accurate information you must refer to the following complete Visual Timber Pest Report.

Important: We strongly recommend the purchaser make inquiry from the vendor about Timber Pests and in particular Termites for this property.

1.1 BRIEF DESCRIPTION OF THE STRUCTURE INSPECTED.

DWELLING

The property inspected is a two storey, free standing home of concrete block work, timber frame clad with timber weatherboards construction. This structure is on a concrete raft slab footings with a pitched roof covered in corrugated colour bond steel sheeting.



CARPORT

A free standing single carport is provided to the rear of the property. This structure is supported by timber post with a skillion roof, which is covered in corrugated colour bond steel sheeting.

Any building or part of a building that is constructed on a concrete slab is always more susceptible to termite attack because of possible concealed termite entry.

1.2 Areas Inspected: Only structures, fences &/or trees within 30m of the building but within the property boundaries were inspected. The areas inspected were:

- Interior of the building
- Exterior of the building
- Carport
- Roof void
- Site

(Only structures and fences within 30m of the main building and within the boundaries of the site were inspected.)

1.3 Areas NOT accessible for any inspection and the reason (s) why were:

- Below the home due to raft slab construction provides no sub-floor to inspect
- Edge of the concrete slab due to concrete paving
- Unsafe access to the roof exterior due to excessive height restrictions

Further Inspection of these areas is strongly recommended once access has been obtained.

(No inspection was made of concealed frame timbers or any areas concealed by wall linings/sidings, soil, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow blocks/posts or any other obstructions to visual inspection.)

1.4 Area(s) in which Visual Inspection was Obstructed or Restricted and the Reason(s) why include:

- Interior due to stored goods, furniture and floor coverings



- Sections of the exterior due to foliage, hot water heater and stored goods

1.5 High Risk Area(s) to which Access should be gained, or fully gained, since they may show evidence of Timber Pests or damage includes:

- Interior of the building

- Exterior of the building
- Roof void
- Roof exterior

Important: If a complete inspection of the above areas was not possible, timber pest activity and/or damage may exist in these areas.

Further Inspections are strongly recommended to areas where Reasonable Access is Unavailable, Obstructed or Restricted or a High Risk of possible Timber Pests and /or Damage exists.

1.6 The following further inspections are recommended for the areas described above:

- **Furnished properties:** Where a property is furnished at the time of the inspection the furnishings and stored goods may be concealing evidence of Timber Pest Activity. This evidence may only be revealed when the property is vacated. A further inspection of the vacant property is strongly recommended in this case.

1.7 Was the property furnished at the time of inspection? Yes.

Note: Important Limitations for Safe and Reasonable Access

Only areas where reasonable access was available were inspected. AS 4349.3 defines reasonable access and states that access will not be available where there are safety concerns, or obstructions, or the space available is less than the following:

ROOF VOID – the dimensions of the access hole must be at least 500mm x 400mm, and, reachable by a 3.6M ladder, and, there is at least 600mm x 600mm of space to crawl;

ROOF EXTERIOR – must be accessible by a 3.6M ladder placed safely on the ground.

SUBFLOOR - Access is normally not available where dimensions are less than 500mm x 400mm for the access hole and less than 400mm of crawl space beneath the lowest bearer, or, less than 500mm beneath the lowest part of any concrete floor;

The inspector shall determine whether sufficient space is available to allow safe access to confined areas.

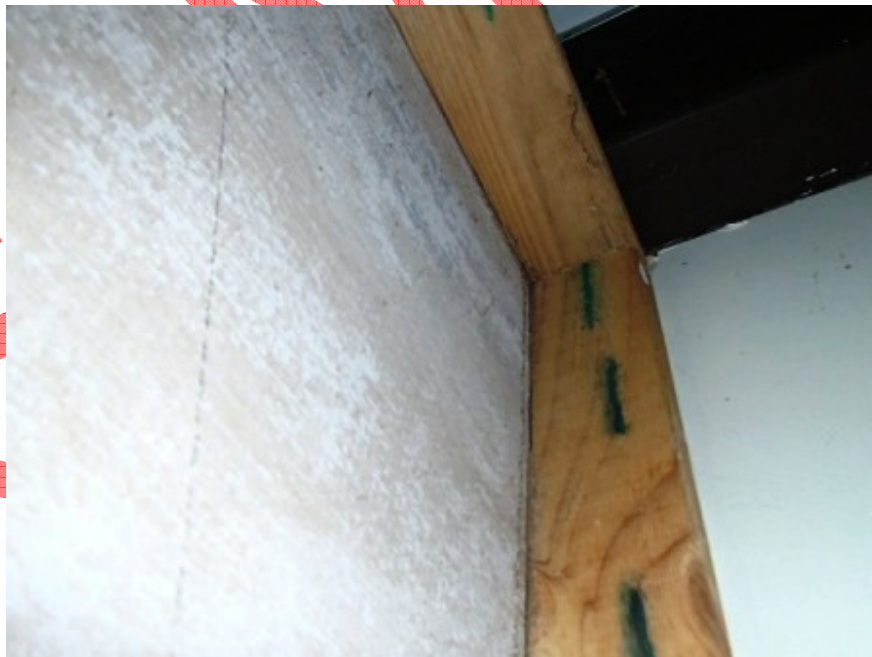
Reasonable access does not include the use of destructive or invasive inspection methods. Nor does reasonable access include cutting or making access traps, or moving heavy furniture or stored goods.

2. Subterranean Termites:

2.1 Were active termites (live insects) present at the time of the inspection:
None found at the time of the inspection.

2.2 A termite nest was not located.

2.3 Visible evidence of subterranean termite workings and/or damage was found. Where workings and/or damage was found, it was in but not necessarily limited to the following areas: the ground floor laundry wall frame, kitchen linen cupboard wall frames, balcony beams to the rear and right sides, floor joist to the front left corner of the home and the upper front door area interior and exterior, roof trusses and wall top plates throughout the roof void area of the home.













NOTE: Where evidence of termite activity was found in the grounds then the risk to buildings is very high. A treatment to eradicate the termites and to protect the building(s) should be carried out. Where the evidence of termite workings was found in the grounds or the building(s) then the risk of a further attack is very high.

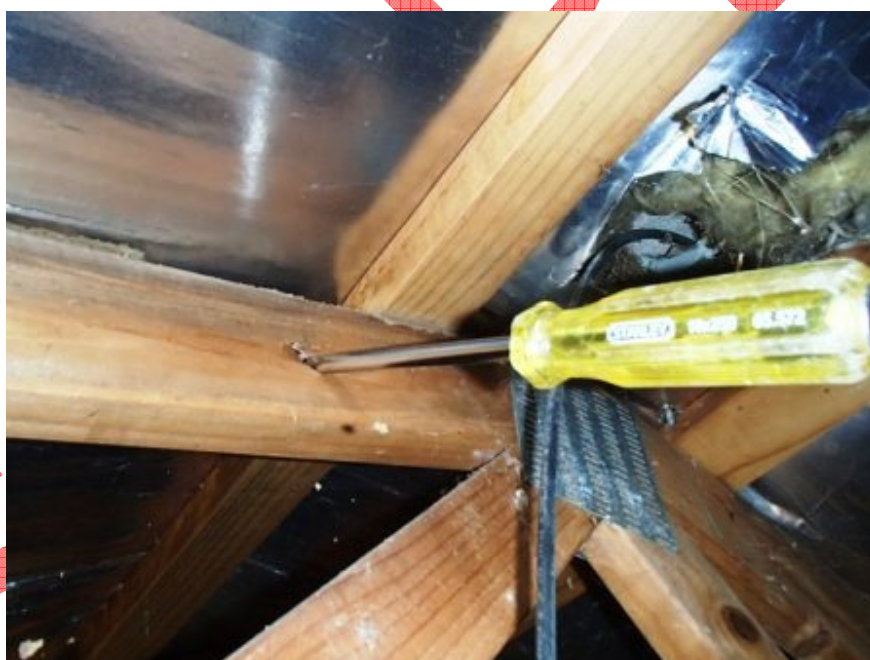
2.4 Was any evidence of timber damage visible? Yes.

We claim no expertise in building and if any evidence or damage has been reported then you must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms & Limitations).

2.5 Where activity or damage is reported above, does it present a major safety hazard? Yes. If the answer is (Yes) the timber pest associated safety hazard is extensive and is located to the balcony timbers, roof void roof trusses and wall framing timbers.







Important Note: Where a Major Safety Hazard is identified above, it must be attended to and/or rectified to avoid the possibility of personal injury &/or death.

VERY IMPORTANT:

If live termites or any evidence of termite workings or damage was reported above within the building(s) or in the ground and fences then it must be assumed that there may be concealed termite activity and/or timber damage. This concealed activity or damage may only be found when alterations are carried out such as when wall linings, cladding or insulation are removed or if you arrange for an invasive inspection. We claim no expertise in structural engineering or building. We strongly recommend that you have a qualified person

such as a Builder, Engineer, Architect or other qualified expert in the building trade determine the full extent of the damage, if any. This may require an invasive inspection. We take no responsibility for the repair of any damage whether disclosed by this report or not. (See Terms & Limitations).

Where visual evidence of termite workings and/or damage is reported above, but no live termites were present at the time of inspection, you must realise that it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without benefit of further investigation and a number of inspections over a period of time, to ascertain whether any infestation is active or inactive. Active termites may simply have not been present at the time of inspection due to a prior disturbance, climatic conditions, or they may have been utilising an alternative feeding source. Continued, regular, inspections are essential. Unless written evidence of a termite protection program in accord with "Australian Standard 3660" with ongoing inspections is provided, you must arrange for a treatment in accord with "Australian Standard 3660" to be carried out immediately to reduce the risk of further attack.

General remarks: A more thorough INVASIVE INSPECTION is available (refer to section 9). Where any current visible evidence of Timber Pest activity is found it is strongly recommended that a more invasive inspection is performed. Trees and stumps on the property with a diameter more than 100mm have been visually inspected for evidence of termite activity to a height of 2m where access was possible and practical. It is very difficult, and generally impossible to locate termite nests since they are underground and evidence in trees is usually well concealed. We therefore strongly recommend that you arrange to have trees test drilled for evidence of termite nests.

2.6 Drill holes were found that may be evidence of a possible previous termite treatment to the exterior paving and interior ground floor concrete floor.





WARNING: If evidence of drill holes in concrete or brickwork or other signs of a possible previous treatment are reported then the treatment was probably carried out because of an active termite attack. Extensive structural damage may exist in concealed areas. You should have an invasive inspection carried out and have a builder determine the full extent of any damage and the estimated cost of repairs as the damage may only be found when wall linings etc are removed.

Normally if a termite treatment has been carried out then a durable notice should be located in the meter box indicating the type of termite shield system, treated zone or combination has been installed.

2.7 Durable Notice (Termite Management Notice) No durable notice was found during the inspection.

This firm can give no assurances with regard to work that may have been previously performed by other firms. You should obtain copies of all paperwork and make your own inquiries as to the quality of the treatment, when it was carried out and warranty information. In most cases you should arrange for a treatment in accord with "Australian Standard 3660" be carried out to reduce the risk of further attack.

3. Borers Of Seasoned Timber:

***Lyctus brunneus* (powder post beetle)** is not considered a significant pest of timber. Damage is confined to the sapwood so treatment or timber replacement is not usually required. However, you should have a building expert investigate if any timber replacement is required.

***Anobium punctatum* (furniture beetle) and *Calymnaderus incisus* (Queensland pine beetle)** must always be considered active, unless proof of treatment is provided, because, unless the timber is ground up, one cannot determine conclusively if activity has ceased. Total timber replacement of all susceptible timbers is recommended. A secondary choice is treatment. However, the evidence and damage will remain and the treatment may need to be carried out each year for up to three years.

3.1 Was visible evidence of borers found? No evidence located.

We claim no expertise in building and if any evidence or damage has been reported then you must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms & Limitations).

Borer activity is usually determined by the presence of exit holes and/or frass. Since a delay exists between the time of initial infestation and the appearance of these signs, it is possible that some borer activity may exist that is not discernible at the time of inspection.

3.2 Where activity or damage is reported above, does its presence represent a major safety hazard? No.

Important Note: Where a Major Safety Hazard is identified above, it must be attended to and/or rectified to avoid the possibility of personal injury &/or death.

3.3 Borer recommendations: Replacement of all susceptible timbers is always preferred since, in the event of selling the property in the future it is probable that an inspector will report the borers as active (see above). A chemical treatment to control and/or protect against Furniture beetle and/or Queensland pine beetle can be considered as a less effective, lower cost option. Before considering this option you should consult with a builder (See Terms & Limitations) to determine if the timbers are structurally sound. Following the initial treatment a further inspection is essential in twelve months time to determine if further treatment is needed. Treatments over a number of consecutive years may be required.

4. Fungal Decay Caused By Wood Decay Fungi:

4.1 Was evidence of wood decay fungi (wood rot) found? Yes. to the balcony beams and flooring, bathroom 2 door jamb and kitchen cupboard.





We claim no expertise in building and if any evidence or damage has been reported then you must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms & Limitations).

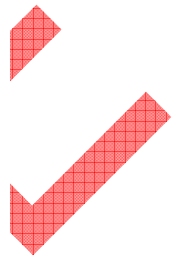
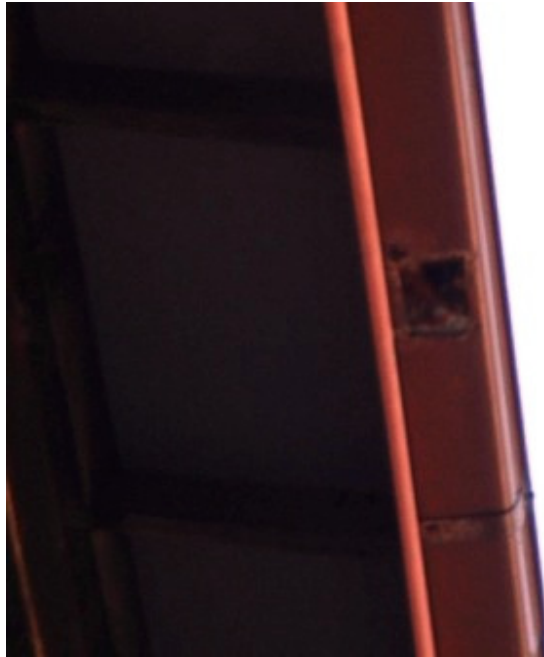
4.2 Where damage is reported above, does its presence represent a major safety hazard? Yes. If the answer is (Yes) the timber pest associated safety hazard is extensive and is located to the balcony beams and flooring.

Important Note: Where a Major Safety Hazard is identified above, it must be attended to and/or rectified to avoid the possibility of personal injury &/or death.

We claim no expertise in building and if any evidence of fungal decay or damage is reported you should consult a building expert to determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms & Limitations).

5. Conditions That Are Conducive To Timber Pest Infestation:

5.1 Water leaks, especially in or into the subfloor or against the external walls e.g. leaking taps, water tanks, leaking roofs or down pipes and or guttering, increases the likelihood of termite attack. Leaking showers or leaks from other 'wet areas' also increase the likelihood of concealed termite attack. These conditions are also conducive to borer activity and wood decay. At the time of the inspection, **leaks were found to be present in the rusted roof gutters.**



We claim no expertise in building and if any leaks were reported then you must have a plumber or other building expert determine the full extent of damage and the estimated cost of repairs.

5.2 Hot water services or air conditioning units which release water alongside or near to building walls need to be connected to a drain. If this is not possible then their water outlet needs to be piped several meters away from the building, as the resulting wet area is highly conducive to termites. Is there a need for this work to be carried out? **Yes, to the hot water heater's x 2.**



5.3 Water Tanks are required to be installed in new homes in some states and many homes have had them retroactively installed as a conservation measure. Tanks which release water alongside or near to building walls need to be connected to a drain. If this is not possible then their water outlet needs to be piped several meters away from the building, as the resulting wet area is highly conducive to termites. Is there a need for this work to be carried out? **No. No tank was found.**

5.4 High moisture readings can be caused by any one of the following: poor ventilation, ineffective drainage, leaking pipes, leaking roofs, defective flashing or by concealed termite activity. The areas of high moisture should be investigated by way of an invasive inspection. High moisture levels also increase the likelihood of termite attack and may also be conducive to borer activity and wood decay. At the time of the inspection **high moisture readings were found to the ground floor bathroom shower wall.**

5.5 Where moisture is reported above, the finding was made using a **Tramex Encounter Plus** moisture meter. If high moisture was reported then you must have a building expert investigate the moisture and its cause and determine the full extent of damage and the estimated cost of repairs.

5.6 Drainage: Poor drainage, especially in the subfloor, greatly increases the likelihood of wood decay and termite attack. We claim no expertise in plumbing and drainage, however it appears that drainage is generally **not applicable**. Where drainage is considered inadequate a plumber, builder or other building expert must be consulted.

5.7 Ventilation, particularly in the sub-floor region is important in minimising the opportunity for Timber Pests to establish themselves within a property. We claim no expertise in building, however, the ventilation appears to be generally, **not applicable**. Where ventilation is considered inadequate a builder or other expert should be consulted.

5.8 Mould on walls and ceilings etc; is an indicator of high moisture or very poor ventilation. If reported You need to have the reason investigated by a builder or a Industry Hygienist as its presence may indicate the presence of a water leak, wood decay or termites behind the wall or ceiling sheeting. Mould **was found in the following area(s): the ground floor lounge room ceiling lining.**



5.9 Timbers Exposed To Weather and/or Water: Some species of timber may be used in areas for which they are not suitable. Where this occurs, the timber may be damaged by Timber Pests, in particular termites and wood decay. In most cases, these timbers may be protected with normal maintenance, eg regular painting. However in some cases, you should consider replacing the timbers with a more suitable species or material. The fitness for purpose of the visible structural timber exposed to weather and/or water appears **adequate** for the situation they have been used in.

It is strongly recommended that you consult a Builder, Architect or other specialist in the field to inspect exposed timbers to give expert advice on their durability and suitability for the situation in which they are used.

5.10 Other areas and/or situations that appear conducive to (may attract) subterranean termite infestation:

- Access should be provided to the roof void of the home as this area may show signs of timber pest activity.
- Large old growth trees with a girth greater than 100mm diameter are within 50 metres of the dwelling. It is very difficult, and generally impossible to locate termite nests since they are underground and evidence in trees is usually well concealed. We therefore strongly recommend that you arrange to have trees test drilled for evidence of termite nests.



- **Bushland in close proximity to the property, this is a conducive factor to termite attack as it can provide a food source for termites.**

5.11 Comments on other conditions conducive to timber pest infestation: Not applicable.

Refer to Important Maintenance Advice below regarding what a property owner can do to help reduce risk of Timber Pest attack.

6. Conditions Conducive To Undetected Termite Entry:

6.1 Slab Edge Exposure: Where external concrete slab edges are not exposed there is a high risk of concealed termite entry. In some buildings built since July 1995 the edge of the slab forms part of the termite shield system. In these buildings an inspection zone of at least 75mm should be maintained to permit detection of termite entry. The concrete edge should not be concealed by render, tiles, cladding, flashings, adjoining structures, paving, soil, turf or landscaping etc. Where this is the case you should arrange to have the slab edge exposed for inspection. Concealed termite entry may already be taking place but could not be detected at the time of the inspection. This may have resulted in concealed timber damage. Does the slab edge inspection zone fully comply? **No, arrange for slab edge to be exposed.**

Note: A very high proportion of termite attacks are over the edge of both Infill and other concrete slabs types. Covering the edge of a concrete slab makes concealed termite entry easy. Infill slab type construction has an even higher risk of concealed termite ingress as the slab edge is concealed due to the construction design and cannot be exposed. The type of slab may only be determined by assessment of the construction plans by a qualified person e.g. Builder, Architect. Construction Plans may be obtainable by your conveyancer. Termite activity and or damage may be present in concealed timbers of the building. We strongly recommend frequent regular inspections in accordance with AS 3660.2. Where the slab edge is not fully exposed or the

slab is an infill slab or the slab type cannot be determined then we strongly recommend inspections every 3 to 6 months in accordance with AS 3660.2

Infill slab: A slab on the ground cast between walls. Other slabs should be in accordance with AS 2870 - 1996 and AS 3660.1-2000.

6.2 Weep holes in external walls: It is very important that soil, lawn, concrete paths or pavers do not cover the weep holes. Sometimes they have been covered during the rendering of the brick work. They should be clean and free flowing. Covering the weep holes in part or in whole may allow undetected termite entry. Were the weep holes clear allowing the free flow of air? **Not applicable.**

6.3 Termite Shields (Ant Caps) should be in good order and condition so termite workings are exposed and visible. This helps stop termites gaining undetected entry. Joins in the shielding should have been soldered during the installation. Whenever it is observed that the joins in the shielding have not been soldered then the shielding must be reported as inadequate. It may be possible for a builder to repair the shielding. If not, a chemical treated zone may need to be installed to deter termites from gaining concealed access to the building. Missing, damaged or poor shields increase the risk of termite infestation. We claim no expertise in building. However, in our opinion the termite shields appear to be **inadequate.**

If considered inadequate a builder or other building expert should be consulted.

Other physical shield systems are not visible to inspection and no comment is made on such systems.

6.4 Other areas and/or situations that may allow undetected subterranean termite entry:

Not applicable.

7. Other Information:

Not applicable.

Refer to Important Maintenance Advice regarding what a property owner can do to help reduce risk of Timber Pest attack.

8. Overall Assessment Of The Property:

Where the evidence of live termites or termite damage or termite workings (mudding) was found in the building(s) then the risk of a further attack is extremely high. Where evidence of live termites or termite damage or termite workings was found in the grounds but not in the buildings then the risk to buildings must be reported as high to extremely high.

8.1 At the time of the inspection the DEGREE OF RISK OF SUBTERRANEAN TERMITE INFESTATION to the overall property was considered, high to extremely high.

8.2 SUBTERRANEAN TERMITE TREATMENT RECOMMENDATION: A management program in accord with AS 3660-2000 to protect against subterranean termites is considered to be strongly recommended and a termite monitoring and baiting proposal is not attached.

FUTURE INSPECTIONS: AS 3660.2-2000 recommends that inspections be carried out at intervals no greater than annually and that, where timber pest "pressure" is greater, this interval should be shortened. Inspections WILL NOT stop timber pest infestation; however, the damage which may be caused will be reduced when the infestation is found at an early stage.

8.3 Due to the degree of risk of subterranean termite infestation noted above and all other findings of this report, we strongly recommend that a full inspection and written report in accord with AS 4349.3 or AS 3660.2-2000 is conducted at this property every 3 months.

A More Invasive Physical Inspection Is Available And Recommended

As detailed above, there are many limitations to this visual inspection only. With the permission of the owner of the premises we WILL perform a more invasive physical inspection that involves moving or lifting: insulation, stored items, furniture or foliage during the inspection. We WILL physically touch, tap, test and when necessary force/gouge suspected accessible timbers. We WILL gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes. This style of report is available by ordering with several days notice. Inspection time for this style of report will be greater than for a VISUAL INSPECTION. It involves disruption in the case of an occupied property, and some permanent marking is likely. You must arrange for the written permission of the owner who must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property. A price is available on request

IMPORTANT MAINTENANCE ADVICE REGARDING INTEGRATED PEST MANAGEMENT (IPM) FOR PROTECTING AGAINST TIMBER PESTS:

Any structure can be attacked by Timber Pests. Periodic maintenance should include measures to minimise possibilities of infestation in and around a property. Factors which may lead to infestation from Timber Pests include situations where the edge of the concrete slab is covered by soil or garden debris, filled areas, areas with less than 400mm clearance, foam insulation at foundations, earth/wood contact, damp areas, leaking pipes, etc; form-work timbers, scrap timber, tree stumps, mulch, tree branches touching the structure, wood rot, etc. Gardens, pathways or turf abutting or concealing the edge of a concrete slab will allow for concealed entry by timber pests. Any timber in contact with soil such as form-work, scrap timbers or stumps must be removed from under and around the buildings and any leaks repaired. You should endeavour to ensure such conditions DO NOT occur around your property.

We further advise that you engage a professional pest control firm to provide a suitable termite management program in accord with AS 3660 to minimise the risk of termite attack. There is no way of preventing termite attack. Even AS 3660 advises when a complete termite management system is installed in accordance with AS 3660.1-2000 for pre-construction termite work or 3660.2-2000 for post-construction termite work and the Australian Pesticides and Veterinary Medicines Authority (APVMA) product label directions are followed precisely, termites may still bridge the management system. However, if the labels directions are followed and the Standard adhered to, and bridging occurs, evidence of the termite ingress will normally be evident to the inspector. Therefore regular inspections in line with the recommendations in this report are essential in addition to any suitable termite management system you install.

You should read and understand the following important information. It will help explain what is involved in a timber pest inspection, the difficulties faced by a timber pest inspector and why it is not possible to guarantee that a property is free of timber pests. It also details important information about what you can do to help protect your property from timber pests. This information forms an integral part of the report.

CONCRETE SLAB HOMES

Homes constructed on concrete slabs pose special problems with respect to termite attack. If the edge of the slab is concealed by concrete paths, patios, pavers, garden beds, lawns, foliage, etc then it is possible for termites to affect concealed entry into the property. They can then cause extensive damage to concealed framing timbers. Even the most experienced inspector may be unable to detect their presence due to concealment by wall linings. Only when the termites attack timbers in the roof void, which may in turn be concealed by insulation, can their presence be detected. Where termite damage is located in the roof it should be expected that concealed framing timbers will be extensively damaged. With a concrete slab home it is imperative that you expose the edge of the slab and ensure that foliage and garden beds do not cover the slab edge. Weep holes must be kept free of obstructions. It is strongly recommended that you have a termite inspection in accordance with AS 3660.2 carried out as recommended in this report.

SUBTERRANEAN TERMITES

No property is safe from termites! Termites are the cause of the greatest economic losses of timber in service in Australia. Independent data compiled by State Forestry shows 1 in every 5 homes is attacked by termites at some stage in its life. More recent data would indicate that this is now as high as 1 in every 3. Australia's subterranean termite species (white ants) are the most destructive timber pests in the world. In fact it can take "as little as 3 months for a termite colony to severely damage almost all the timber in a home".

How Termites Attack your Home. The most destructive species live in large underground nests containing several million timber destroying insects. The problem arises when a nest matures near your home. Your home provides natural shelter and a food source for the termites. The gallery system of a single colony may exploit food sources over as much as one hectare, with individual galleries extending up to 50 metres to enter your home, where there is a smorgasbord of timber to feast upon. Even concrete slabs do not act as a barrier; they can penetrate through cracks in the slab to gain access to your home. They even build mud tubes to gain access to above ground timbers. In rare cases termites may create their nest in the cavity wall of the property without making ground contact. In these cases it may be impossible to determine their presence until extensive timber damage occurs.

Termite Damage; Once in contact with the timber they excavate it often leaving only a thin veneer on the outside. If left undiscovered the economic species can cause many thousands of dollars damage and cost two to five thousand dollars (or more) to treat.

Subterranean Termite Ecology: These termites are social insects usually living in underground nests. Nests may be in trees or in rare instances they may be in above ground areas within the property. They tunnel underground to enter the building and then remain hidden within the timber making it very difficult to locate them. Where timbers are concealed, as in most modern homes, it makes it even more difficult to locate their presence. Especially if gardens have been built up around the home and termite barriers are either not in place or poorly maintained. Termites form nests in all sorts of locations and they are usually not visible. There may be more than one nest on a property. The diet of termites in the natural environment is the various hardwood and softwood species growing throughout Australia. These same timbers are used in buildings. Worker termites move out from their underground nest into surrounding areas where they obtain food and return to nurture the other casts of termites within the nest. Termites are extremely sensitive to temperature, humidity and light and hence cannot move over ground like most insects. They travel in mud encrusted tunnels to the source of food. Detection of termites is usually by locating these mud tunnels rising from the ground into the affected structure. This takes an expert eye.

Termite barriers protect a building by forcing termites to show themselves. Termites can build mud tunnels around termite barriers to reach the timber above. The presence of termite tracks or leads does not necessarily mean that termites have entered the timber though. A clear view of walls and piers and easy access to the sub-floor means that detection should be fairly easy. However many styles of construction do

not lend themselves to ready detection of termites. The design of some properties is such that they make the detection by a pest inspector difficult, if not impossible.

The tapping and probing of walls and internal timbers is an adjunct or additional means of detection of termites but is not as reliable as locating tracks. The use of a moisture meter is a useful aid for determining the presence of termites concealed behind thin wall panels, but it only detects high levels of activity. Older damage that has dried out will not be recorded. It may also provide false readings. Termite tracks may be present in the ceiling space however some roofs of a low pitch and with the presence of sisalation, insulation, air conditioning ductwork and hot water services may prevent a full inspection of the timbers in these areas. Therefore since foolproof and absolute certain detection is not possible the use of protective barriers and regular inspections is a necessary step in protecting timbers from termite attack.

BORERS OF SEASONED TIMBERS

Borers are the larvae of various species of beetles. The adult beetles lay their eggs within the timber. The eggs hatch out into larvae (grubs) which bore through the timber and can cause significant structural damage. The larvae may reside totally concealed within the timber for a period of several years before passing into a dormant pupal stage. Within the pupal case they metamorphose (change) into the adult beetle which cuts a hole in the outer surface of the timber to emerge, mate and lay further eggs to continue the cycle. It is only through the presence of these emergence holes, and the frass formed when the beetles cut the exit holes that their presence can be detected. Where floors are covered by carpets, tiling, or other floor coverings and where no access to the underfloor area is available it is not possible to determine whether borers are present or not. This is particularly the case with the upper floors of a dwelling.

Borers of 'green' unseasoned timber may also be present. However these species will naturally die out as the timbers dry out in service. Whilst some emergence holes may occur in a new property it would be unusual for such a borer to cause structural damage, though the exit holes may be unsightly.

Anobium borer (furniture beetle) and Queensland pine borer: These beetles are responsible for instances of flooring collapse, often triggered by a heavy object being placed on the floor (or a person stepping on the affected area!) Pine timbers are favoured by this beetle and, while the sapwood is preferred, the heartwood is sometimes attacked. Attack by this beetle is usually observed in timbers that have been in service for 10-20 years or more and mostly involves flooring and timber wall panelling. The *frass* from the flight holes (faeces and chewed wood) is fine and gritty. Wood attacked by these borers is often honeycombed.

Lycus borer (powder post beetle): These borers only attack the sapwood of certain susceptible species of hardwood timber. Since it is a requirement that structural timbers contain no more than 25% Lycus susceptible sapwood these borers are not normally associated with structural damage. Replacement of affected timbers is not recommended and treatment is not approved. Where decorative timbers are affected the emergence holes may be considered unsightly in which case timber replacement is the only option. Powder post beetles mostly attack during the first 6-12 months of service life of timber. As only the sapwood is destroyed, larger dimensional timbers (such as rafters, bearers and joists) in a house are seldom weakened significantly to cause collapse. In small dimensional timbers (such as tiling and ceiling battens) the sapwood may be extensive, and its destruction may result in collapse. Replacement of these timbers is the only option available.

TIMBER DECAY FUNGI

The fruiting bodies of wood decay fungi vary in size, shape and colour. The type of fungi encountered by pest controllers usually reside in poorly ventilated subfloors, below wet areas of the home, exterior timbers and in areas that retain water in the soil. The durability and type of timbers are factors along with the temperature and environment. Destruction of affected timbers varies with the symptoms involved. Removal

of the moisture source usually alleviates the problem. Fungal decay is attractive to termites and if the problem is not rectified it may well lead to future termite attack.

TERMS & LIMITATIONS:

Important Information Any person who relies upon the contents of this report does so acknowledging that the following clauses which define the Scope and Limitations of the inspection form an integral part of the report.

- 1. THIS IS A VISUAL INSPECTION ONLY** in accord with the requirements of AS 4349.3 Inspection of buildings Part 3: Timber pest inspections. Visual inspection was limited to those areas and sections of the property to which reasonable access (See Definition) was both available and permitted on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, in other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. An invasive inspection will not be performed unless a separate contract is entered into. In an occupied property it must be understood that furnishings or household items may be concealing evidence of Timber Pests which may only be revealed when the items are moved or removed. In the case of Strata type properties only the interior of the unit is inspected.
- 2. SCOPE OF REPORT:** This Report is confined to reporting on the discovery, or non discovery, of infestation and/or damage caused by subterranean and dampwood termites (white ants), borers of seasoned timber and wood decay fungi (hereinafter referred to as "Timber Pests"), present on the date of the Inspection. The Inspection did not cover any other pests and this Report does not comment on them. Dry wood termites (Family: KALOTERMITIDAE) and European House Borer (*Hylotrupes bujulus Linnaeus*) were excluded from the Inspection, but have been reported on if, in the course of the Inspection, any visual evidence of infestation happened to be found. If *Cryptotermes brevis* (West Indian Dry Wood Termite) or *Hylotrupes bujulus Linnaeus* are discovered we are required by law to notify Government Authorities. If reported a special purpose report may be necessary.
- 3. LIMITATIONS:** Nothing contained in the Report implies that any inaccessible or partly inaccessible areas or sections of the property being inspected by the Inspector on the date of the Inspection were not, or have not been, infested by Timber Pests. Accordingly this Report is not a guarantee that an infestation and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. Nor is it a guarantee that a future infestation of Timber Pests will not occur or be found.
- 4. DETERMINING EXTENT OF DAMAGE:** The Report is NOT a structural damage Report. We claim no expertise in building and any observations or recommendations about timber damage should not be taken as expert opinion and CANNOT be relied upon. If any evidence of Timber Pest activity and/or damage resulting from Timber Pest activity is reported either in the structure(s) or the grounds of the property, then You must assume that there may be concealed structural damage within the building(s). This concealed damage may only be found when wall linings, cladding or insulation is removed to reveal previously concealed timbers. An invasive Timber Pest Inspection (for which a separate contract is required) is strongly recommended and You should arrange for a qualified person such as a Builder, Engineer, or Architect to carry out a structural inspection and to determine the full extent of the damage and the extent of repairs that may be required. You agree that neither We nor the individual conducting the Inspection is responsible or liable for the repair of any damage whether disclosed by the report or not.

5. **MOULD:** Mildew and non wood decay fungi are commonly known as Mould and is not considered a Timber Pest but may be an indicator of poor ventilation or the presence of termites, wood decay or water leaks. Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people.
6. **DISCLAIMER OF LIABILITY:** No liability shall be accepted on account of failure of the Report to notify any Termite activity and/or damage present at or prior to the date of the Report in any areas(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Licensed Inspector (including but not limited to any area(s) or section(s) so specified by the Report).
7. **DISCLAIMER OF LIABILITY TO THIRD PARTIES**

Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement then they may rely on the report subject to the terms and conditions of this agreement and the Report itself.

Note: In the ACT under the Civil Law (Sale of Residential Property) Act 2003 and Regulations the report resulting from this inspection may be passed to the purchaser as part of the sale process providing it is carried out not more than three months prior to listing and is not more than six months old.

8. COMPLAINTS PROCEDURE

In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, You must notify Us as soon as possible of the dispute or claim by email, fax or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If You are not satisfied with our response You must within twenty one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The Institute of Arbitrators and Mediators of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of Arbitrator, will proceed in the following manner:

- (a) The parties must submit all written submissions and evidence to the Arbitrator within twenty one (21) days of the appointment of the Arbitrator; and
- (b) The arbitration will be held within twenty one (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty one (21) of the final day of the arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs.

The decision of the Arbitrator is final and binding on both parties. Should the Arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty one (21) days of the order.

In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

IMPORTANT DISCLAIMER

DISCLAIMER OF LIABILITY: -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES: - This Report is made solely for the use and benefit of the client named on the front of this report. No liability or responsibility whatsoever, in contract or tort, is accepted to any third party who may rely on the Report wholly or in part. Any third party acting or relying on this Report, in whole or in part does so at their own risk.

CONTACT THE INSPECTOR

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

The Inspection and Report was carried out by:

Inspectors contact phone number:

Address: PO Box 294 Sylvania Southgate NSW 2224

Insurance Accreditation Number: Rapid Solutions no 3061

Dated this 17th Day of March, 2014

SIGNED FOR AND ON BEHALF OF:

Signature: