



Residential Building Report

Account to:
File No. /Ref:
Phone:
Fax / Email:
Client:
Agreement No / Job No:

Purchaser:
Vendor:
Property address:

Date and time of the Inspection:
Report Prepared Date:

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Pre-Purchase Inspection - Residential Building Report- (Except ACT)

Complies with Australian Standard AS 4349.1- 2007 Inspection of Buildings Part 1: Pre-Purchase inspections – Residential buildings – Appendix “C”

Details of the Inspection Agreement

The Purpose of the Inspection: The purpose of the inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the property at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix C AS4349.1-2007.

The Scope of the Inspection: The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

Acceptance Criteria: The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Are there Special Requirements / Conditions requested by the Client/Client's Representative regarding the Inspection and Report: No.

The following list details the Specific Requirements/ Conditions agreed to:

Where there any changes to the Inspection Agreement: No.

- **Date the Changed Agreement was accepted:**
- **Time the Changed Agreement was accepted:**

The following list details the changes to the Inspection Agreement requested:

For the purpose of this report, the street frontage is referred to as the front of the property. The Scope of this report has covered: Only Structures and areas within 30m of the structure but within the immediate fence boundary.

The majority of properties throughout N.S.W will have significant matters that require attention; however, the property may still be good value if the costs to rectify defects are reflected in the purchase price. The final decision concerning the valuation of the property is solely the purchase decision as we are licensed building consultants, not valuers.

This type of building inspection is carried out specifically for the information of the homebuyer only. Its main purpose is to give an experts view of the condition of the property you're interested in buying. It is not intended to be used as a certificate of compliance for any law, warranty or insurance policy against future problems.

It is normally the role of your conveyancer or solicitor to deal with all law-related matters. The building inspector cannot comment on things like the location of fencing in relation to the boundaries, as this needs to be done by a registered surveyor.

Details of the Inspection

Weather Conditions at the time of Inspection: Dry

Recent Weather Conditions: Intermittent rain

Building Furnished: Yes

Building Tenancy: Tenanted

The Scope of the Inspection was to cover: The Building and the property within 30m of the building subject to inspection.

The Areas Inspected were:

- Interior of the building
- Exterior of the building
- Carport
- Roof void
- Site

(Only structures and fences within 30m of the main building and within the boundaries of the site were inspected.)

The Area(s) NOT accessible for any inspection and the reason (s) why were:

- Below the home due to raft slab construction provides no sub-floor to inspect
- Edge of the concrete slab due to concrete paving
- Unsafe access to the roof exterior due to excessive height restrictions

Further Inspection of these areas is strongly recommended once access has been obtained.

(No inspection was made of concealed frame timbers or any areas concealed by wall linings/sidings, soil, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow blocks/posts or any other obstructions to visual inspection.)

The Area(s) in which visual inspection was obstructed and the reason (s) why were:

- **Interior due to stored goods, furniture and floor coverings**



- Sections of the exterior due to foliage, hot water heater and stored goods
- Roof void due to sisilation

* No comment is made on these concealed areas

Further Inspection of these areas is strongly recommended once access has been obtained.

Therefore the Area(s) and/or Section(s) to which Access should be gained or fully gained are:

- Interior of the building
- Exterior of the building
- Roof void
- Roof exterior

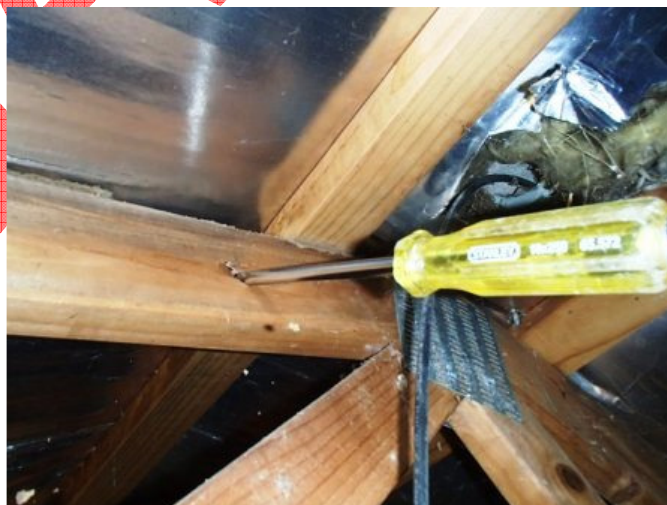
Further Inspection of these areas is Essential once access has been obtained and Prior to a Decision to Purchase.

Limitations to the Inspection apart from "Access Issues" noted above and how these limitations, has effected the Inspection are:

- Not applicable

Details of Apparent concealment of possible defects:

- Possible termite damage to the wall and floor framing timber due to termite mudding to the ground and 1st floor walls, floor beams, roof trusses and wall top plates in the roof void





Information provided to the Inspector that has a bearing on the Inspection and/or Report and who and when that information was provided:

- **Not applicable**
-

BRIEF DESCRIPTION OF THE STRUCTURE INSPECTED.

DWELLING

The property inspected is a two storey, free standing home of concrete block work, timber frame clad with timber weatherboards construction. This structure is on a concrete raft slab footings with a pitched roof covered in corrugated colour bond steel sheeting.



CARPORT

A free standing single carport is provided to the rear of the property. This structure is supported by timber post with a skillion roof, which is covered in corrugated colour bond steel sheeting.

CONCLUSION AND SUMMARY

The purpose of this inspection is to provide advice to regarding the condition of the property at the time of the inspection. This inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the condition of the property at the time of the inspection.

The incidence of Major Defects in this Residential Building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered. **High**

The incidence of Minor Defects in this Residential Building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered **High**

We estimate that the age of the property is **approximately 15-20 years old** and therefore the overall condition of this Residential Dwelling in the context of its age, type and general expectations of similar properties is: **Below Average**

Please Note: This is a general appraisal only and cannot be relied on its own – read the report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

At the time of this inspection the Significant Items are:

Major Defect: A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Defect description, type, location and the significance of defect.	Estimated cost of repairs
A treatment with a rust inhibitor will be required to the support posts and plates to extend this material's service.	\$600.00

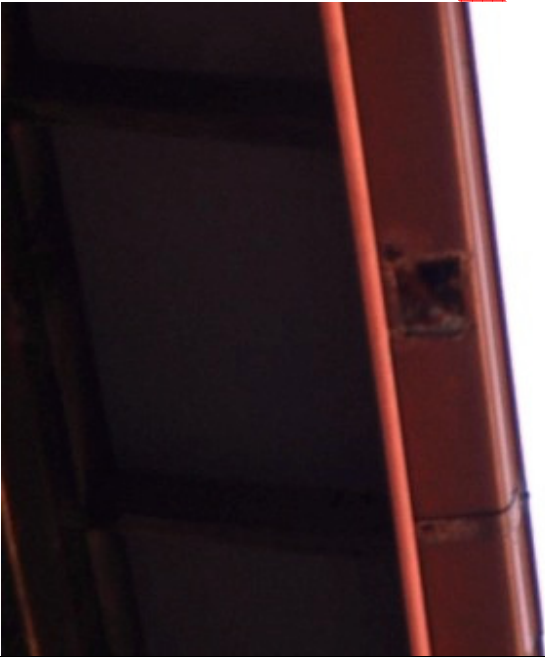
The external timbers to the weatherboards, windows, fascia boards, rafter ends, balcony timbers and carport timbers of the property have aged and weathered in areas. These timbers should be painted immediately to prevent decay.

\$5,000.00



The gutters to the home have rusted and will require to be replaced. A plumber and drainer should be sought.

Seek a plumber



A plumber should be sought to connect the hot water heater overflow pipe to the stormwater drainage system.

Seek a plumber



Replace the decayed sections of the beams. These timbers, due to their location, are prone to decay and must be kept well painted to prevent such deterioration once replaced.

\$2,500.00



Repair the water damaged 1st floor wall lining.

\$400.00



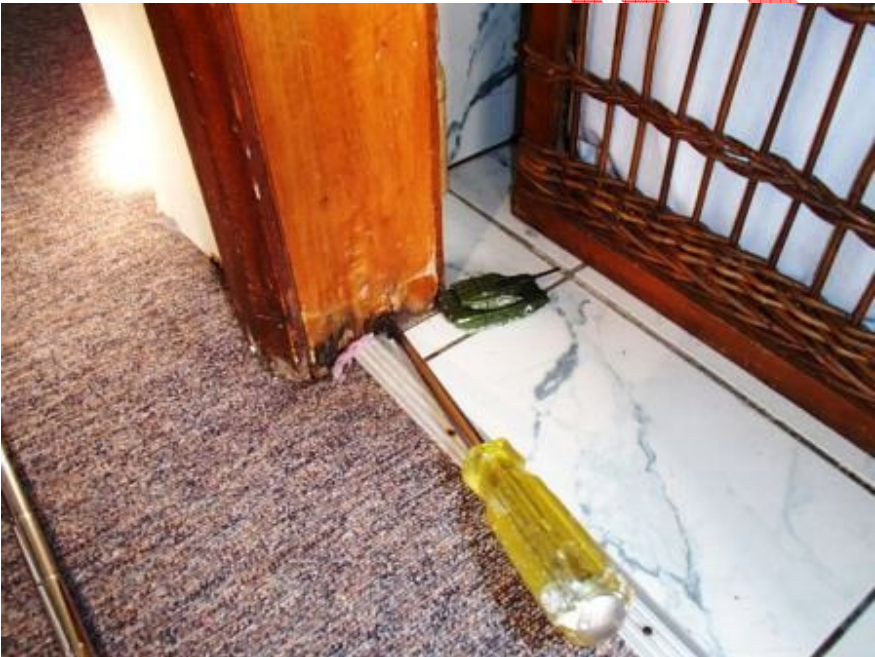
Replace the incorrectly installed base plate to the carport post.

\$250.00




Repair the water damaged bathroom 2 door jamb.

\$200.00



Re-enamel the bathroom tub in bathroom 2.	\$600.00
Replace the water damaged cupboard below the kitchen sink.	\$1,800.00
	
Minor cracks were noted to the bathroom 1 and ensuite internal walls. These cracks have been possibly caused by termite damage to the wall framing timbers.	
	

<p>The wall lining to the bathroom 1 is bowed in a number of areas which is possible due to termite damage to the wall framing timbers, movement and loss of adhesion to glue between the wall lining and the wall studs. Replacement of this wall lining is essential.</p>	
<p>The front door to top floor requires easing and adjustment in order for it to operate correctly.</p>	\$100.00
<p>A number of tiles to the ground floor kitchen, bathroom 2 and ensuite floor tiles have become drummy and cracked.</p> <p>These tiles have become cracked and drummy possibly due to termite damage to the floor framing timbers, movement and loss of adhesion with their bedding materials. Replacement of these tiles will be required by a ceramic tiler.</p> 	

		
<p>An invasive inspection should be carried out as concealed termite damage to the wall and floor framing timbers is highly likely due to termite mudding and damage to the ground and 1st floor.. Without the removal of wall linings, it is not possible to determine the extent or existence of termite damage. A builder should be contracted by the purchaser or vendor to undertake the removal of the wall lining, subject to the vendor's approval in writing.</p> 	Discuss with the inspector	




A plumber should be consulted to repair the water hammer to the 1st floor sink taps. Water hammer is shock waves in plumbing generally due to high velocity water being shut-off too quickly due to under sizing of pipes and faucets or valves. Sometimes installing water hammer arrestors can help alleviate or lessen water hammer. Best is to increase water pipe sizes thereby slowing velocity.

Seek a plumber

Replace the water damaged ensuite vanity unit cabinet. The basin can be re-used. This damage is due to excessive water usage around the cabinet.

\$600.00

Safety Hazard: Any observed item that may constitute a present or imminent serious safety hazard.

Defect description, type, location and the significance of defect.	Estimated cost of repairs
<p>The handrails to the balcony are too low in height and do not comply with the Building Code of Australia, which states that the minimum height of the handrail must be no less than a minimum height of 1 metre. The handrail must be replaced to prevent an accident.</p> 	<p>\$2,000.00</p>
<p>Fungal decay was identified in the right side balcony although its extent and significance could not be determined. A timber specialist or engineer needs to be instructed to advise on the full extent of the problem, including any remedial work and potential safety issues.</p>	<p>Seek a structural engineer</p>
<p>Replace the water damaged flooring below the 1st floor bathroom / laundry area of the home, this damage is due to a past leak.</p>	<p>\$6,000.00</p>



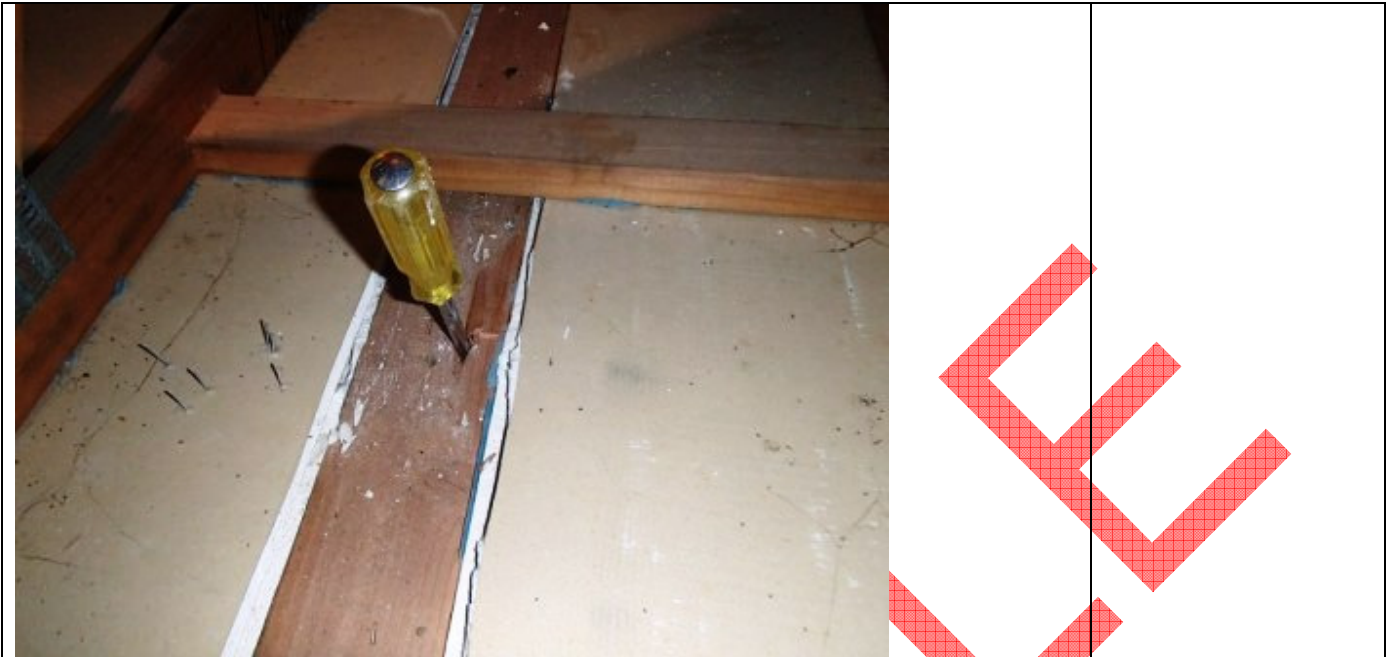
Replace several termite damage roof trusses throughout the roof void area, the roof sheets and ceiling lining to these areas will have to be removed so that the trusses can be replaced not repaired.

Approx \$15,000.00
to \$20,000.00





		
<p>Replace the termite damaged wall framing top plates to several areas throughout the roof void area of the home.</p>		<p>Price once invasive inspection complete</p>
		



Cracking of Building elements

Is there cracking to the Building Elements: **Yes**

Appearance Defect: Where in the inspector's opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Defect description, type, location and the significance of defect.
Minor appearance cracks have developed in the interior concrete walls to the bathroom and kitchen.
These cracks should be closely monitored by a structural engineer as it is not possible to determine if further movement is occurred or the area has stabilised without monitoring over a period of approximately 12 months.

Serviceability Defect: Where in the inspector's opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Defect description, type, location and the significance of defect.
Not applicable

Structural Defect: Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Defect description, type, location and the significance of defect.
Not applicable

INTERIOR OF THE BUILDING

Ceilings

The internal ceilings throughout the building are:

- Gypsum plasterboard lining
- Timber panelling

Walls

The internal walls throughout the building are:

- Gypsum plasterboard lining
- Painted concrete blockwork

Flooring

The floors throughout the building are of concrete and timber plywood.

Windows

The windows throughout the building are of timber.

Timber windows are prone to wet rot and will age and weather over a period. These windows should be kept primed & painted to prevent deterioration & to extend the life of the timber. It is important to move the windows regularly after painting to prevent the window from sticking to the framework.

Doors and Frames

The doors and frames throughout the building are of timber.

Kitchen 1 to the ground floor

The kitchen bench tops throughout the kitchen are covered with timber.

The kitchen cupboards throughout the kitchen are covered with timber.

The floor throughout the kitchen is covered with tiles.

Kitchen 2 to the 1st floor

The kitchen bench tops throughout the kitchen are covered with timber.

The kitchen cupboards throughout the kitchen are covered with timber.

The floor throughout the kitchen is covered with vinyl.

Bathroom 1 to the ground floor

The shower recess was flood tested with approx 5mm of water and was found to be without visible leaks at the time of the inspection. An inspection of the accessible surrounding walls and floors revealed no evidence of past or present leaks.

Note: Shower leaks in homes are quite common and can occur without warning. Showers should be monitored at all times, and if found to be leaking in the future that repairs should be carried out ASAP, as the leaking can cause major damage. It may be difficult to detect leaks if the shower has not been used recently or new, leaks or dampness may not be obvious.

There is a toilet to the bathroom.

Normal plumbing points and taps are provided throughout the bathroom.

The floor and walls throughout the bathroom are covered with tiles.

There is no bath within the bathroom.

There is a vanity / washbasin unit to bathroom.

A floor waste is provided to this area, and the floor appears to drain adequately to this floor waste without ponding water.

There is no extraction exhaust fan in this area, however, there is an external window which must be opened when bathing or showering to remove steam & moisture.

There is a mirror to the bathroom.

Bathroom 2 to the 1st floor

The shower, which is situated over the bath was found to be without leaks at the time of the inspection. An inspection of the accessible surrounding walls and floors revealed evidence of past leak, see defects.

Note: Shower leaks in homes are quite common and can occur without warning. Showers should be monitored at all times, and if found to be leaking in the future that repairs should be carried out ASAP, as the leaking can cause major damage. It may be difficult to detect leaks if the shower has not been used recently or new, leaks or dampness may not be obvious.

There is a toilet to the bathroom.

Normal plumbing points and taps are provided throughout the bathroom.

The floor and walls throughout the bathroom are covered with tiles.

There is a bath within the bathroom.

There is a vanity / washbasin unit to bathroom.

A floor waste is provided to this area, and the floor appears to drain adequately to this floor waste without ponding water.

There is no extraction exhaust fan in this area, however, there is an external window which must be opened when bathing or showering to remove steam & moisture.

There is a mirror to the bathroom.

Ensuite

The shower recess was flood tested with approx 5mm of water, and was found to be without visible leaks at the time of the inspection. An inspection of the accessible surrounding walls and floors revealed no evidence of past or present leaks.

Note: Shower leaks in homes are quite common and can occur without warning. Showers should be monitored at all times, and if found to be leaking in the future that repairs should be carried out ASAP, as the leaking can cause major damage. It may be difficult to detect leaks if the shower has not been used recently or new, leaks or dampness may not be obvious.

There is a toilet to the ensuite.

Normal plumbing points and taps are provided throughout the ensuite.

The floor and walls throughout the ensuite are covered with tiles.

There is a vanity / washbasin unit to ensuite.

The tile flooring throughout the ensuite appears to fall to the floor waste correctly without ponding water.

A floor waste is provided to this area, and the floor appears to drain adequately to this floor waste without ponding water.

There is no extraction exhaust fan in this area, however, there is an external window which must be opened when bathing or showering to remove steam & moisture.

There is a mirror to the bathroom.

Laundry to the ground and 1st floors

Normal plumbing points and taps are provided throughout the laundries.

There is a laundry tub provided to the laundries.

The floor and walls throughout the laundries are covered with tiles.

A floor waste is provided to the 1st floor laundry and the floor appears to drain adequately to this floor waste without ponding water.

There is no extraction exhaust fan to the 1st floor laundry; however there is an external window which must be opened to remove steam & moisture.

Damp Course

The damp-proof course to the property could not be found.

Hot Water System 1

The mains pressure, electrical hot water system is located externally. The capacity of this unit is 50 litres and the manufacture date of this unit is 30/03/2010.

The hot water unit was working, however it requires attention see defects.

The life of the hot water unit cannot be estimated as failure may occur at any time without warning.

Hot Water System 2

The mains pressure, electrical hot water system is located externally. The capacity of this unit is 50 litres and the manufacture date of this unit is 12/11/2010.

The hot water unit was working, however it requires attention see defects.

The life of the hot water unit cannot be estimated as failure may occur at any time without warning.

Services

Although general comments are made on electrical, plumbing and mechanical services, it's recommended that a licensed electrician, plumber and drainer and mechanical consultant be consulted for further advice, as electrical, plumbing and mechanical inspections are not covered in this building report, in accordance with Australian Standards AS 4349.1-2007.

The plumbing pipes are of copper, where visible.

The water pressure to the property was normal.

2 smoke detectors are located in the ground floor and 1st floor lounges rooms.

Smoke alarms must meet the Australian Standard AS 3786-1993 required by the Building Regulations. In all new residential buildings, constructed on or after 1 August 1997, the smoke alarms must be connected directly to the consumer power mains as well as having a battery back-up. Residential buildings constructed before 1 August 1997, can be fitted with a battery-powered smoke alarm.

EXTERIOR OF THE BUILDING

Walls

The external walls to the building are of:

- Timber weatherboards
- Concrete block work

Lintels

The lintels above the window and door openings throughout the exterior of the building are of galvanised steel.

Wall Frames

The wall frames where visible throughout the building are of timber.

Stairs

The exterior stairs throughout the exterior of the building are of metal.

Verandah/Balcony 1 and 2

Two verandah/balcony of timber construction are provided to the right side and rear of the property, "A timber specialist or engineer needs to be instructed to advise on any decay between the decking and frame and full extent of any problem, including any remedial work and potential safety issues."

Roof Covering

The pitched roof to the building is covered in corrugated colour bond steel sheeting.

A physical inspection of the roofing was not possible due to the height of the building and the inability to access the area with a 3.6-metre ladder, which is the height restriction for a standard building inspection AS 4349.1-2007. A special purpose inspection will be required to inspect this area.

Skylights, Vents, Chimney and Flues

There are vents flashings to the roof of the building.

A physical inspection of the vents was not possible due to the height of the building and the inability to access the area with a 3.6 metre ladder, which is the height restriction for a standard building inspection AS 4349.1-2007. A special purpose inspection will be required to inspect this area.

Gutters and downpipes

There are metal gutters and downpipes to the roof exterior of the building.

A physical inspection of the gutters was not possible due to the height of the building and the inability to access the area with a 3.6-metre ladder, which is the height restriction for a standard building inspection AS 4349.1-1995. A special purpose inspection will be required to inspect this area.

The downpipes generally appear to be connected to a stormwater disposal system, which drains the water away from the property.

Eave Lining

There are fibre cement sheeting to the roof exterior eave lining of the building.

Fascia and Barge Boards

There are timber fascia and barge boards to the roof exterior of building, these timbers due to there location are prone to decay and must be kept well painted to prevent such deterioration.

ROOF VOID AREA

Roof Framing

The roof framing is timber truss to the building.

Insulation

There was no insulation placed over the ceiling lining & timbers.

Sarking

There is sisilation installed below the roof covering and an inspection of the roof battens was not possible due to the material.

SUB-FLOOR AREA

Footings

The footings throughout the building are of concrete raft slab footings.

To prevent subsidence to the home footings, attempts should be made to maintain the moisture content of the soil around the property at a constant level. Sudden or dramatic changes to the moisture content in reactive clay soils may cause the footings to fail resulting in cracking to the interior & exterior walls of the property.

In the worse case, it could cause structural damage, which could result in re-building or underpinning of the footing.

THE SITE

Retaining walls

There are stone and concrete retaining walls to the front and rear of the property. Any retaining walls on this property that are below 700mm have not been inspected as per standard building inspection AS 4349.1-2007. A special purpose inspection will be required to inspect this area.

Driveways and Paving

There are concrete paths and driveway to the property.

Surface Water Drainage

This inspection was carried out during dry weather conditions. The surface drainage appears to be fair, however it should be monitored during heavy rainfall periods, as the drainage cannot be fully assessed in dry conditions.

Other Inspections and Reports Required:

It is Strongly Recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property, so that the purchaser can be well equipped to make an informed decision. These Inspections and Reports fall outside the guidelines for a Standard Property Report as specified in AS4349.1-2007 and are excluded from this Report.

Timber Pest Inspection	Electrical Inspection	Plumbing Inspection
Asbestos Inspection	Mechanical Services	Drainage Inspection
Mould Inspection	Appliances Inspection	Airconditioning Inspection
Alarm/Intercom/Data Systems	Structural (Engineer)	Geotechnical Inspection
Durability of Exposed Surfaces	Hydraulics Inspection	Swimming Pool Inspection
Council Plan Inspection	Hazards Inspection	Fire/Chimney Inspection
Estimating Report	Garage Door Mechanical	Gasfitting Inspection

Other:

TERMINOLOGY

The Definitions of the Terms in the table below apply to the TYPES OF DEFECTS associated with individual items/parts or Inspection areas (fields) of an item:

Definitions

Damage	The fabric of the element has ruptured or is otherwise broken.
Distortion Warping Twisting	An element or elements has been distorted or moved from the intended locations.
Water penetration Damp Related	Moisture is present in unintended or unexpected locations.
Material Deterioration	An element or component is subject to deterioration of material or

(rusting, rotting, corrosion, decay)	materials.
Operational	An element or component does not operate as intended.
Installation (including omissions)	The element or component is subject to improper or ineffective installation, inappropriate use, or missing components.

The Definitions (High), (Typical) and (Low) relate to the inspectors opinion of the Overall Condition of the Building:

Definitions

HIGH	The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.
TYPICAL	The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.
LOW	The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

The Definitions (Above Average), (Average) and (Below Average) relate to the inspectors opinion of the Overall Condition of the Building:

Definitions

ABOVE AVERAGE	The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a high standard of workmanship when compared with building of similar age and construction.
AVERAGE	The overall condition is consistent with dwellings of approximately the same age and construction. There may be areas/members requiring minor repair or maintenance. There were no major matters that require attention or rectification.
BELOW AVERAGE	The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Accessible area: An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

Appearance Defect: Where in the inspector's opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Building element: Portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function.

Major Defect: A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Minor Defect: A defect other than a major defect.

Safety Hazard: Any observed item that may constitute a present or imminent serious safety hazard.

Serviceability Defect: Where in the inspector's opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Site: Allotment of land on which a building stands or is to be erected.

Structural Defect: Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Note: Also Refer to "Important Advice" section for explanation/advice concerning some terms and or defects that may be contained in this Report.

Important Advice: -

Note: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

The septic tanks: Should be inspected by a licensed plumber.

Swimming Pools: Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

Surface Water Drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

Important Information Regarding the Scope and Limitations of the Inspection and this Report

Important Information Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

- 1) This report is NOT an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.
- 2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.
- 3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (*eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB Such matters may upon request be covered under the terms of a Special-purpose Property Report.)**

- 4) **CONSUMER COMPLAINTS PROCEDURE:** In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, You must notify Us as soon as possible of the dispute or claim

by email, fax or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If You are not satisfied with our response You must within twenty one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The Institute of Arbitrators and Mediators of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of Arbitrator, will proceed in the following manner:

- (a) The parties must submit all written submissions and evidence to the Arbitrator within twenty one (21) days of the appointment of the Arbitrator; and
- (b) The arbitration will be held within twenty one (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty one (21) of the final day of the arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs.

The decision of the Arbitrator is final and binding on both parties. Should the Arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty one (21) days of the order.

In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

- 5) **ASBESTOS DISCLAIMER: "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.** If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even building built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples' health. You should seek advice from a qualified asbestos removal expert."
- 6) **MOULD (MILDEW AND NON-WOOD DECAY FUNGI) DISCLAIMER:** Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, Mould happened to be noticed it may be noted in the **Additional Comments** section of the report. If Mould is noted as present within the

property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council,

State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

- 7) **MAGNESITE FLOORING DISCLAIMER:** No inspection for Magnesite Flooring was carried out at the property and no report on the presence or absence of Magnesite Flooring is provided. You should ask the owner whether Magnesite Flooring is present and/or seek advice from a Structural Engineer.
- 8) **ESTIMATING DISCLAIMER:** Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.
- 9) **CONDITIONS :-** This standard property report is conditional upon or conditional in relation to –
1. the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
 2. information provided by the person, the employees or agents of the person requesting the report;
 3. the specific areas of 'expertise' of the consultant specified in the report;
 4. apparent concealment of possible defects; or
 5. any other factor limiting the preparation of the report.

IMPORTANT DISCLAIMER

DISCLAIMER OF LIABILITY: -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES: - Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement then they may rely on the report subject to the terms and conditions of this agreement and the Report itself.

Note: In the ACT under the Civil Law (Sale of Residential Property) Act 2003 and Regulations the report resulting from this inspection may be passed to the purchaser as part of the sale process providing it is carried out not more than three months prior to listing and is not more than six months old.

CONTACT THE INSPECTOR

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

The Inspection and Report was carried out by:

Inspectors contact phone number:

Address: PO Box 294 Sylvania Southgate NSW 2224

Insurance Accreditation Number: Rapid Solutions no 6088

Dated this 17th Day of March, 2014

SIGNED FOR AND ON BEHALF OF:

Signature: